

UPFIT FOR RIDER TRANSIT CENTER 3600 S. RIDGE AVENUE, CONCORD, NC



VICINITY MAP
(NOT TO SCALE)

* = RIDER TRANSIT CENTER (UPFIT)

INDEX OF DRAWINGS

CVR	COVER SHEET
CR	CODE REVIEW
G-1	GENERAL NOTES
G-2	ACCESSIBILITY NOTES & DETAILS

ARCHITECTURAL

A-1	EXISTING FLOOR PLANS
A-2	EXISTING REFLECTED CEILING PLANS
A-3	FLOOR PLANS
A-4	REFLECTED CEILING PLANS
A-5	BUILDING SECTIONS
A-6	INT. ELEVATIONS & SCHEDULES

PLUMBING

P-01	PLUMBING PLAN
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MECHANICAL

M-01	MECHANICAL PLAN
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ELECTRICAL

E-01	ELECTRICAL LIGHTING PLAN
E-02	ELECTRICAL POWER PLAN
E-03	ELECTRICAL NOTES & DETAILS

FIRE PROTECTION

FP-01	FIRE PROTECTION PLAN
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PROJECT TITLE:
**UPFIT FOR
RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC**

SHEET TITLE:
COVER SHEET

TODAY'S DATE: 10.10.2016
 SCHEMATIC DESIGN APPR. XXX
 ORIGINAL SEAL DATE: XXXX

REVISIONS:

DRAWING # 160404 CVR
 DRAWN BY: RKB
 PROJECT MGR: VLM
 CHECKED BY: V. MOORE

SHEET
CVR
 1 OF 1 TOTAL # OF SHEETS: 16

ABBREVIATIONS

ABV	above	LOC	location
AFF	above finished floor	LVR	louver
AG	access	MAX	maximum
AP	access panel	MB	maximum bolt
ACT	acoustical tile	MH	manhole
ADJ	adjacent	MFR	manufacture (er)
AGG	aggregate	MAS	masonry
A/C	air conditioning	MO	masonry opening
ALT	alternate	MAT	material (s)
ALUM	aluminum	MAX	maximum
AB	anchor bolt	MECH	mechanic (al)
APPROX	approximate	MET	metal
ARCH	architect (ural)	MIN	minimum
AD	area drain	MISC	miscellaneous
ASPH	asphalt	NAT	natural
BRG	bearing	N	North
BPL	bearing plate	NIC	not in contract
BM	bench mark	NTS	not to scale
BLK	block	OH	on center (s)
BLKG	blocking	OPG	opening
BO	bottom of	OJ	open web joist
BOT	bottom	OPP	opposite
BLDG	building	OPH	opposite hand
BLM	beam	OD	outside dimension
BUR	built-up roofing	OA	overall
CAB	cabinet	OB	overall
CPT	carpet (ed)	OF	overall
CI	cast iron	PL	plate
CB	catch basin	PB	panic bar
CLG	ceiling	PAR	parallel
CEM	cement	PTN	partition
CER	ceramic	PVMT	pavement
CT	ceramic tile	PEST	pestal
CJR	circle	PERF	perforate (d)
CLR	clear (ance)	PLAS	plaster
COL	column	P/L	plastic laminate
CONC	concrete	PL	plate
CMU	concrete masonry unit	PG	plate glass
CONST	construction	PLYWD	plywood
CONT	continuous or continue	PC	pipe column
CONTR	contract (or)	PSF	pounds per square foot
DL	dead load	PSI	pounds per square inch
DEM	demolish, demolition	PFB	prefabricate (d)
DEP	depressed	PT	pressure treated
DEL	detail	PL	property line
DIAG	diagonal	QT	quarry tile
DIAM	diameter	RAD	radius
DM	dimension	REF	reference
DPR	dispenser	RFL	reflect (ed), (ive), (or)
DN	down	REFR	refrigerator
DR	door	REG	register
DS	downspout	REINF	reinforce (d), (ing)
DF	douglas fir	RCP	reinforced concrete pipe
EA	each	RES	resilient
E	East	RET	retaining
ELEC	electric (al)	RM	room
EP	electrical panelboard	RO	rough opening
ELEV	elevation	SCH	schedule
EMP	employee	SEC	section
ENCL	enclosure (ure)	SS	service sink
EQ	equal	SHTH	sheathing
EQUIP	equipment	SH	sheet
EXH	exhaust	SIM	similar
EXIST	existing	SC	solid core
EB	expansion bolt	S	South
EXP	exposed	SPL	special
EXT	exterior	SPEC	specification (s)
FD	floor drain	SQ	square
FOC	face of concrete	ST	square feet
FOM	face of masonry	SS	stainless steel
FOS	face of studs	STD	standard
FF	finish floor	STA	station
FE	fire extinguisher	STL	steel
FIN	finish (ed)	SD	storm drain
FTG	footing	STRUCT	structural
FSE	food service equip.	SUS	suspended
FR	frame (d), (ing)	SYM	symmetri (cal)
FS	floor sink	SYS	system
FUR	furred (ing)	TKS	tickstrip
GA	gage, gudge	TEL	telephone
GI	galvanized iron	TG	tempered glass
GC	general contract (or)	T&G	tongue and groove
GL	glass, glazing	TO	top of
GD	grade, grading	TS	top of sheathing
GYP.BD.	gypsum board	TSL	top of slab
HC	hollow core	TST	top of steel
HWD	hardwood	TW	top of wall
HDR	header	TYP	typical
HVAC	heating/ventilating/air conditioning	UC	undercut
HT	height	UR	urinal
HC	hollow core	VJ	v-joint (ed)
HM	hollow metal	VB	vapor barrier
HORIZ	horizontal	VERT	vertical
HB	hose bibb	VB	vinyl base
INCL	include (d), (ing)	VT	vinyl tile
ID	inside diameter	VCT	vinyl composition tile
INSUL	insulation	WSC	wainscot
INT	interior	WH	wall hung
JT	joint	WC	water closet
J	joist	WP	waterproofing
KPL	kickplate	WR	water resistant
LAD	ladder	W	with
LB	lag bolt	W	West
LAM	laminated (d)	WIN	window
LAV	lavatory	WG	wired glass
LTL	lintel	WM	wire mesh
LL	live load	WO	without
		WD	wood

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, AS WELL AS UNDERWRITERS REGULATIONS HAVING JURISDICTION. THE CONTRACTORS SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE BUILDING OWNER, IF APPLICABLE.
2. ALL CONTRACTORS SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS. NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
3. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR COST OF ALL NECESSARY PERMITS.
4. THESE DRAWINGS ARE DIAGRAMMATIC, NOT INDICATING ALL CONDITIONS AND DETAILS, AND ARE INTENDED TO BE USED BY EXPERIENCED MECHANICS. EACH DRAWING IS COMPLEMENTARY TO THE OTHERS. ALL CONDITIONS AND DIMENSIONS MUST BE VERIFIED BY THE CONTRACTORS PRIOR TO INSTALLATION. WORK PERFORMED NOT IN COMPLIANCE WITH THE INTENT OF THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE PERSONS PERFORMING THE WORK.
5. THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT AND SERVICES NECESSARY FOR, AND REASONABLY INCIDENTAL TO THE COMPLETION, IN PLACE, OF ALL WORK ILLUSTRATED AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
6. CONDITIONS DEPICTED ON THESE DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND MUST BE VERIFIED WITH ON-SITE CONDITIONS. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSION. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
7. THE CONTRACTOR SHALL RECEIVE, HANDLE, STORE (IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS. ALL MATERIALS SHALL BE ACCOUNTED FOR UPON RECEIPT AND ANY MISSING OR DAMAGED PARTS SHALL BE REPORTED TO THE ARCHITECT AND/OR OWNER IMMEDIATELY.
8. SHOP DRAWINGS AND SUBMITTALS PREPARED BY THE CONTRACTORS, SUPPLIERS, ETC. SHALL BE REVIEWED BY THE ARCHITECT ONLY AS TO CONFORMANCE WITH THE DESIGN CONCEPT. NO WORK SHALL START WITHOUT SUCH REVIEW. FULL SUBMITTALS ARE REQUIRED.
9. THE CONTRACTOR SHALL REMOVE RUBBISH AND DEBRIS FROM THE BUILDING SITE PROMPTLY UPON ACCUMULATION AND IN NO EVENT LESS FREQUENTLY THAN EVERY FRIDAY AFTERNOON.
10. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY DURING CONSTRUCTION. CONSTRUCTION WORK SHALL NOT DISTURB TRAFFIC OR ON GOING BUSINESS, EXCEPT BY SPECIFIC AGREEMENT WITH OWNER.
11. ANY MODIFICATIONS TO THE PLANS SHALL BE COORDINATED WITH ALL TRADES; BULLETIN DRAWINGS AND PLAN REVIEW PRIOR TO ANY EXECUTION OF WORK.
12. MINOR ITEMS AND ACCESSORIES REASONABLY INFERRED AS NECESSARY TO COMPLETE AND PROPERLY OPERATE ANY SYSTEM, SHALL BE PROVIDED BY THE RESPECTIVE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND/OR TENANT.
13. THE CONTRACTOR SHALL INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION RECOMMENDATIONS.
14. ALL REQUESTS FOR SUBSTITUTION OF ANY ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING (PRIOR TO BID DELIVERY) TO THE ARCHITECT AND WILL BE CONSIDERED ONLY IF BETTER SERVICE, MORE ADVANTAGEOUS DELIVERY DATE OR CREDIT TO THE CONTRACTOR WILL BE PROVIDED WITHOUT SACRIFICE OF QUALITY, APPEARANCE, AND FUNCTION.
15. CONTRACTOR SHALL SUBMIT CONFIRMATIONS WITH DELIVERY DATES ON ORDERS OF MATERIALS AND EQUIPMENT WITH LONG LEAD TIMES.
16. THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES TO THE ARCHITECT OR OWNER/TENANT REPRESENTATIVE PRIOR TO CONSTRUCTION.
17. CONTRACTOR SHALL VERIFY WITH THE OWNER AND/OR TENANT ALL FIXTURES AND EQUIPMENT TO BE FURNISHED BY OTHERS.
18. CONTRACTOR SHALL HAVE A CURRENT PRIVILEGE LICENSE TO DO BUSINESS IN THE MUNICIPALITY GOVERNING THE PROJECT.

19. CONSTRUCTION MATERIALS TESTING, IF APPLICABLE, TO BE PAID FOR BY OWNER. GENERAL CONTRACTOR TO COORDINATE MATERIALS TO BE TESTED WITH OWNER, ARCHITECT AND TESTING COMPANY PRIOR TO ANY TESTING. TESTING COMPANY SHALL BE SELECTED BY OWNER AND ARCHITECT. ANY FEES ASSOCIATED WITH RE-TESTING DUE TO GC'S FAILURE TO COMPLY WITH CONTRACT DOCUMENTS IS TO BE PAID FOR BY THE CONTRACTOR WHO PERFORMED THE WORK. IF EXISTING SOIL BECOMES UNSUITABLE DUE TO CONTRACTOR NON-PERFORMANCE, THEN TESTING AND ENGINEER'S RECOMMENDATION, INCLUDING ALL WORK ASSOCIATED WITH RECOMMENDATIONS SHALL BE PAID FOR BY THE CONTRACTOR.
20. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY DRAINAGE MEASURES DURING CONSTRUCTION INCLUDING DOWNSPOUT LEADERS RELOCATION OR OTHER MEASURES.
21. ANY DEMOLITION OR WORK IN EXISTING BUILDING SHALL BE COORDINATED AND DISCUSSED AT CONSTRUCTION MEETING. TENANT ACTIVITIES DISRUPTION TO BE KEPT AT MINIMUM. PRIOR APPROVAL BY TENANT & OWNER IS REQUIRED FOR ANY WORK IN THE EXISTING BUILDING.
22. ALL UNUSED ALLOWANCES TO BE CREDITED BACK TO THE OWNER WITH FINAL APPLICATION FOR PAYMENT. PROVIDE PROPER BACK UP INFORMATION.
23. CHANGE ORDERS SHALL BE APPROVED PRIOR TO EXECUTION OF WORK.
24. INCLUDE BLOCKING FOR ALL TOILET ACCESSORIES, CASE WORK, AND STOREFRONTS AS NEEDED OR REQUIRED.
25. INFILL PENETRATIONS IN EXISTING WALLS WHERE DUCT, PIPE, CONDUITS ARE REMOVED FROM EXISTING WALL. PATCH AND REPAIR FOR LIKE NEW WORK.
26. CRAFTSMANSHIP AND ATTENTION TO DETAIL IS OF UTMOST PRIORITY AND EXPECTED.
27. CONTRACTOR TO COORDINATE DEMOLITION AND CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE DISRUPTION TO NORMAL DAILY BUSINESS ACTIVITIES.
28. HVAC CONTRACTOR TO TEST HVAC SYSTEM PRIOR TO WORK. PROVIDE RESULTS TO GC. GC TO DISTRIBUTE TO OWNER REP. HVAC CONTRACTOR TO TEST & BALANCE AGAIN ONCE MECHANICAL WORK IS COMPLETED.

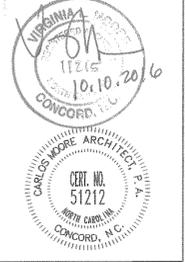
ALTERNATES

- ALTERNATE #1:
IN LIEU OF SPECIFIED 1/2" THICK 9'-0" HIGH GLASS WALLS, PROVIDE 5/8" THICK GLASS.
- ALTERNATE #2:
IN LIEU OF ADDING ONLY A 24" SECTION OF NEW CABINERY IN THE EXISTING BREAK ROOM, REPLACE ENTIRE LENGTH WITH NEW CABINETS. TOTAL LENGTH OF NEW CABINERY WOULD BE 5'-0" LONG. SINK SECTION SHALL BE ACCESSIBLE AND LAMINATE SHALL BE SELECTED BY OWNER FROM STANDARD COLORS. PROVIDE NEW BASE TO MATCH AS REQUIRED.
- ALTERNATE #3:
AT EXISTING TICKET WINDOW IN EXISTING LOBBY: REMOVE EXISTING WINDOW AND FRAME. PROVIDE NEW HOLLOW METAL FRAME IN EXISTING ROUGH OPENING. FRAME TO MATCH EXISTING. (POWDER COAT - COLORS TO BE SELECTED FROM STANDARD COLORS.) ADD BULLET PROOF GLAZING IN TICKETING WINDOW. TICKETING UNIT TO CONTAIN INTERCOM SYSTEM. CONTACT TOTAL SECURITY SOLUTIONS 1-517-223-1807. (OR EQUAL)

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UPFIT FOR
RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC

PROJECT TITLE:

GENERAL CONSTRUCTION
NOTES & ABBREVIATIONS

SHEET TITLE:

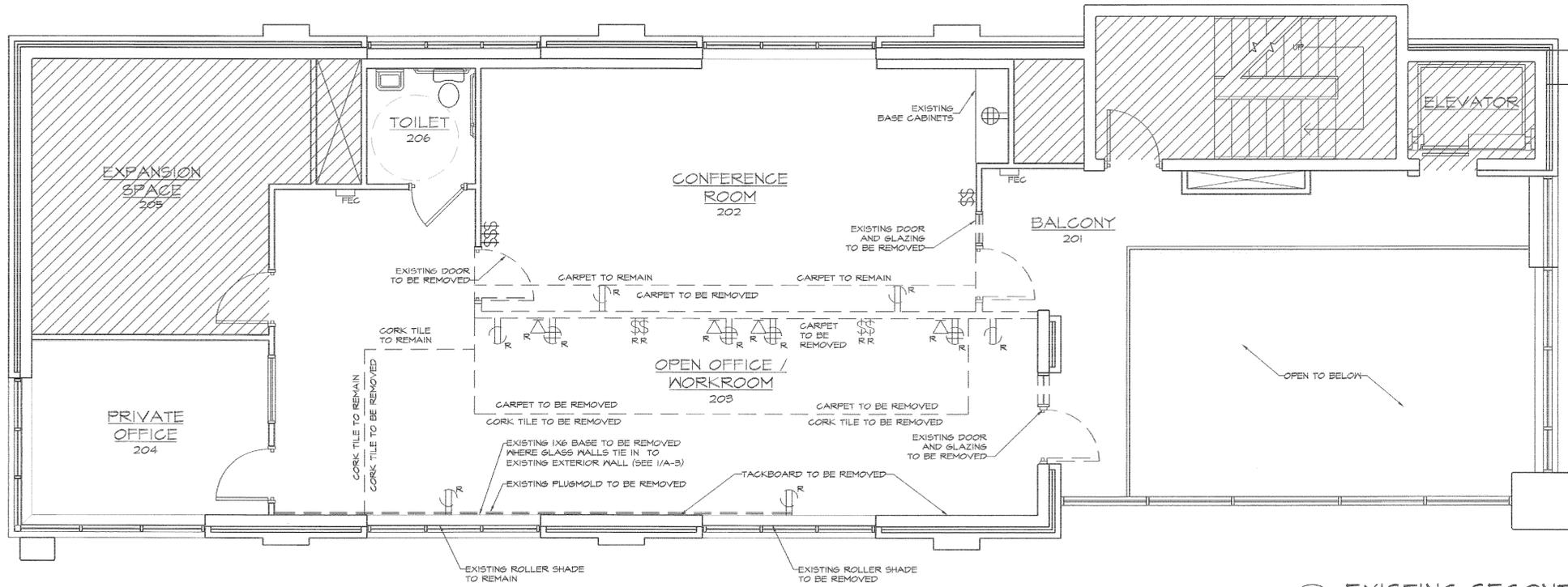
TODAY'S DATE: 10.10.2016
SCHEMATIC DESIGN APPR.
ORIGINAL SEAL DATE: XXXXXXXX

REVISIONS:

DRAWING #: 160404 G1
DRAWN BY: RKB
PROJECT MGR: VLM
CHECKED BY: V. MOORE

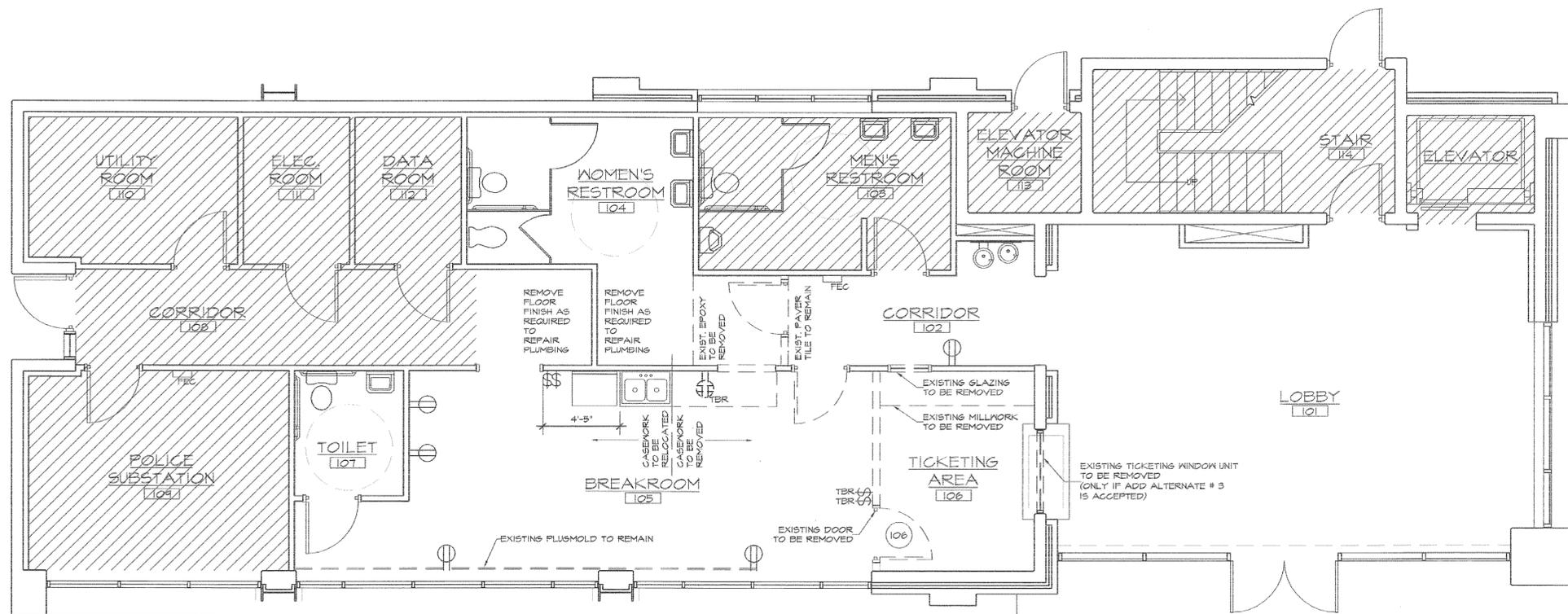
SHEET
G-1

OF 2 TOTAL # OF SHEETS: 16



1
A-1 EXISTING SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

NOTE:
1. VERIFY ALL DIMENSIONS.
2. CONTRACTOR TO COORDINATE DEMOLITION AND CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE DISRUPTION TO NORMAL DAILY BUSINESS ACTIVITIES.



2
A-1 EXISTING FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

NOTE: VERIFY ALL DIMENSIONS

- SYMBOL LEGEND**
- EXISTING RECEPTACLE
 - RECEPTACLE TO BE RELOCATED
 - RECEPTACLE TO BE REMOVED
- WALL LEGEND**
- EXISTING INTERIOR WALL TO REMAIN
 - EXISTING INTERIOR WALL TO REMAIN
 - EXISTING PARTITION WALL TO REMAIN
 - EXISTING TO BE REMOVED
 - EXISTING 8" EXTERIOR/INTERIOR WALL TO REMAIN
 - 16" EXISTING EXTERIOR WALL TO REMAIN
 - 20" EXISTING EXTERIOR WALL TO REMAIN

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PROJECT TITLE:
RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC

SHEET TITLE:
EXISTING FLOOR PLANS

TODAY'S DATE: 10.10.2016
SCHEMATIC DESIGN APPR. XXX
ORIGINAL SEAL DATE XXXXXXXX

REVISIONS:

DRAWING #: 160404 EX FP
DRAWN BY: RKB
PROJECT MGR: VLM
CHECKED BY: V. MOORE

SHEET
A-1

OF 6 TOTAL # OF SHEETS: 16

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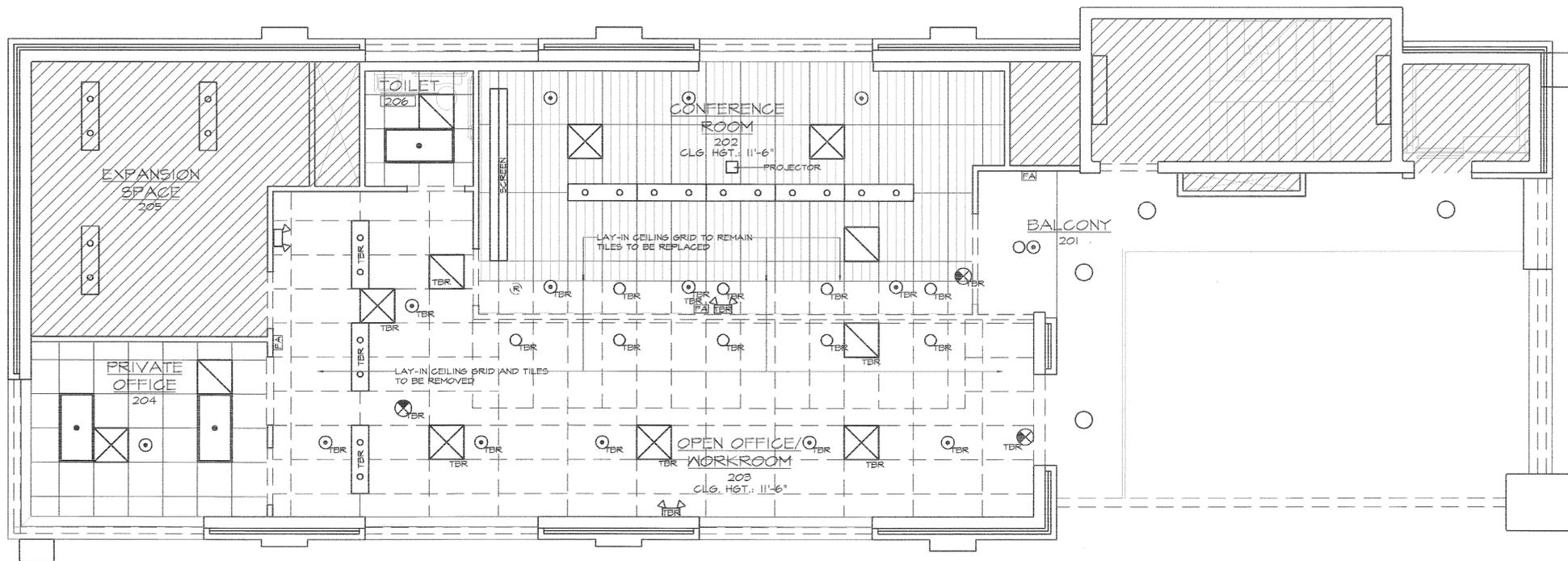
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PROJECT TITLE:
RIDER TRANSIT CENTER
 3600 S. RIDGE AVENUE, CONCORD, NC
 SHEET TITLE:
EXISTING REFLECTED CEILING PLANS

TODAY'S DATE: 10.10.2016
 SCHEMATIC DESIGN APPR. XXX
 ORIGINAL SEAL DATE: XXXXXXXX
 REVISIONS:
 DRAWING #: 160404 EX RCP
 DRAWN BY: RKB
 PROJECT MGR: VLM
 CHECKED BY: V. MOORE
 SHEET
A-2
 TOTAL # OF SHEETS: 16
 OF 6

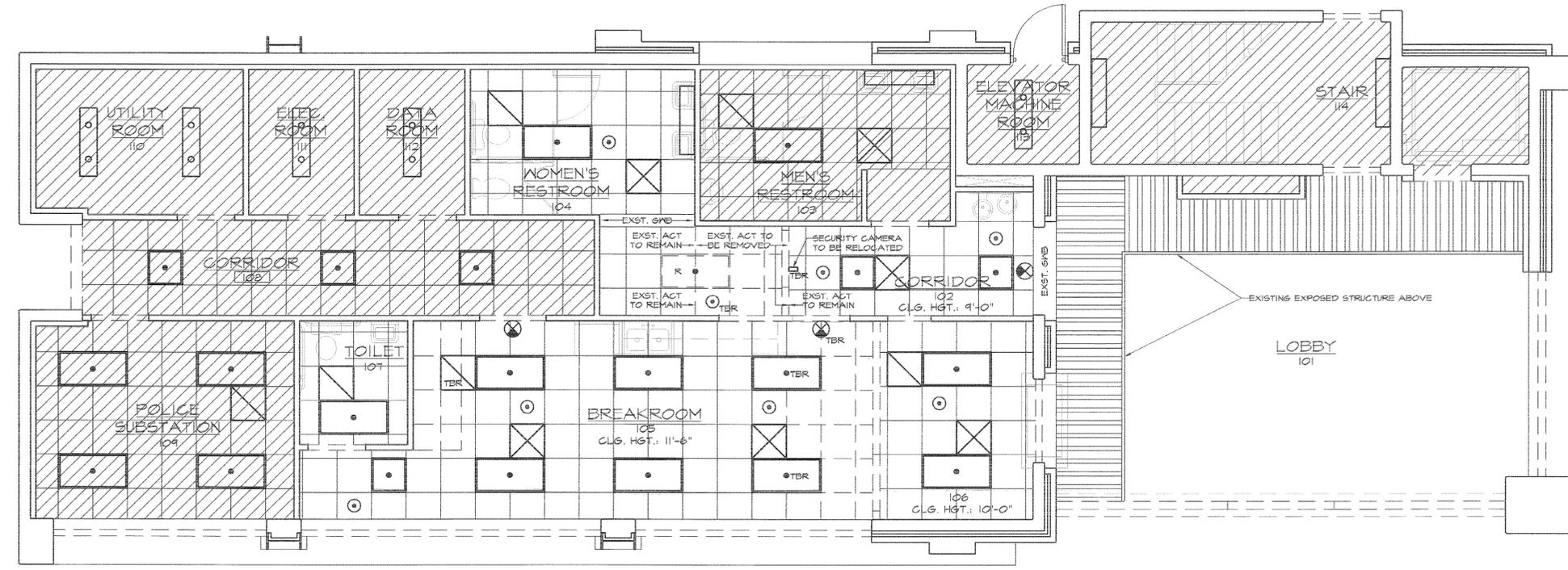
SYMBOL LEGEND

- TBR FIXTURE TO BE RELOCATED
- R FIXTURE TO BE REMOVED
- 2X4 FLORESCENT LAY-IN FIXTURE
- 2X2 FLORESCENT LAY-IN FIXTURE
- 8" RECESSED CAN FIXTURE
- PENDANT LIGHT (BALCONY)
- 2X4 ACOUSTICAL LAY-IN CEILING TILE
- 2X4 ACOUSTICAL LAY-IN CEILING TILE IN SUSPENDED GRID
- 2X4 ACOUSTICAL LAY-IN CEILING TILE IN SUSPENDED GRID
- 2X2 ACOUSTICAL LAY-IN CEILING TILE
- (HVAC) SUPPLY AIR GRILL
- (HVAC) RETURN AIR GRILL
- 4" FLORESCENT STRIP
- PENDANT MOUNTED INDIRECT FLORESCENT
- SPRINKLER HEAD
- EXIT LIGHT
- EMERGENCY DUAL HEAD
- FAI STROBE LIGHT



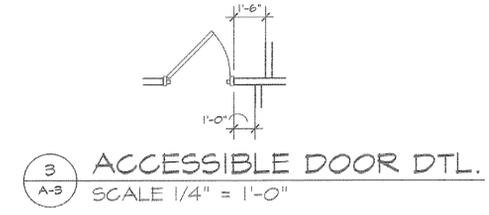
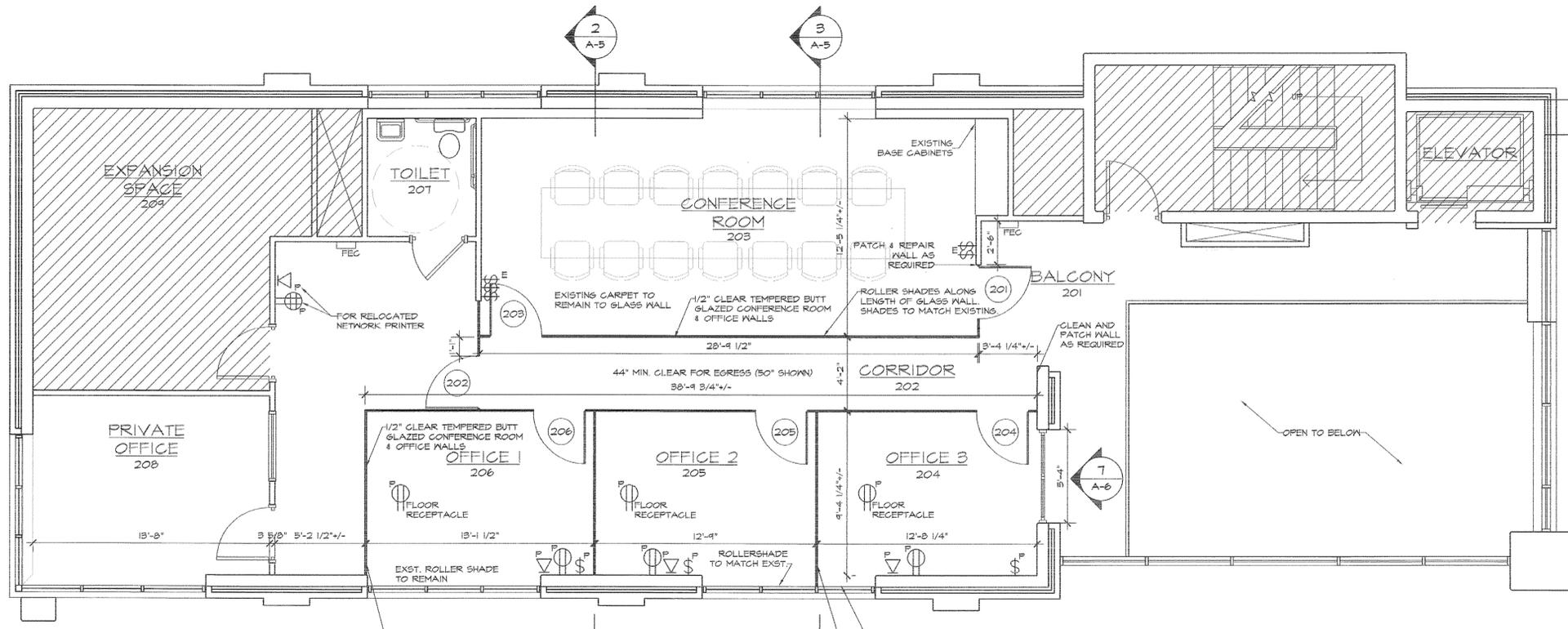
1 EXISTING SECOND FLOOR REFLECTED CEILING PLAN
 SCALE 1/4"=1'-0"

NOTES:
 1. VERIFY FIXTURE LOCATIONS AND CEILING HEIGHTS.
 2. VERIFY ALL DIMENSIONS.



2 EXISTING FIRST FLOOR REFLECTED CEILING PLAN
 SCALE 1/4"=1'-0"

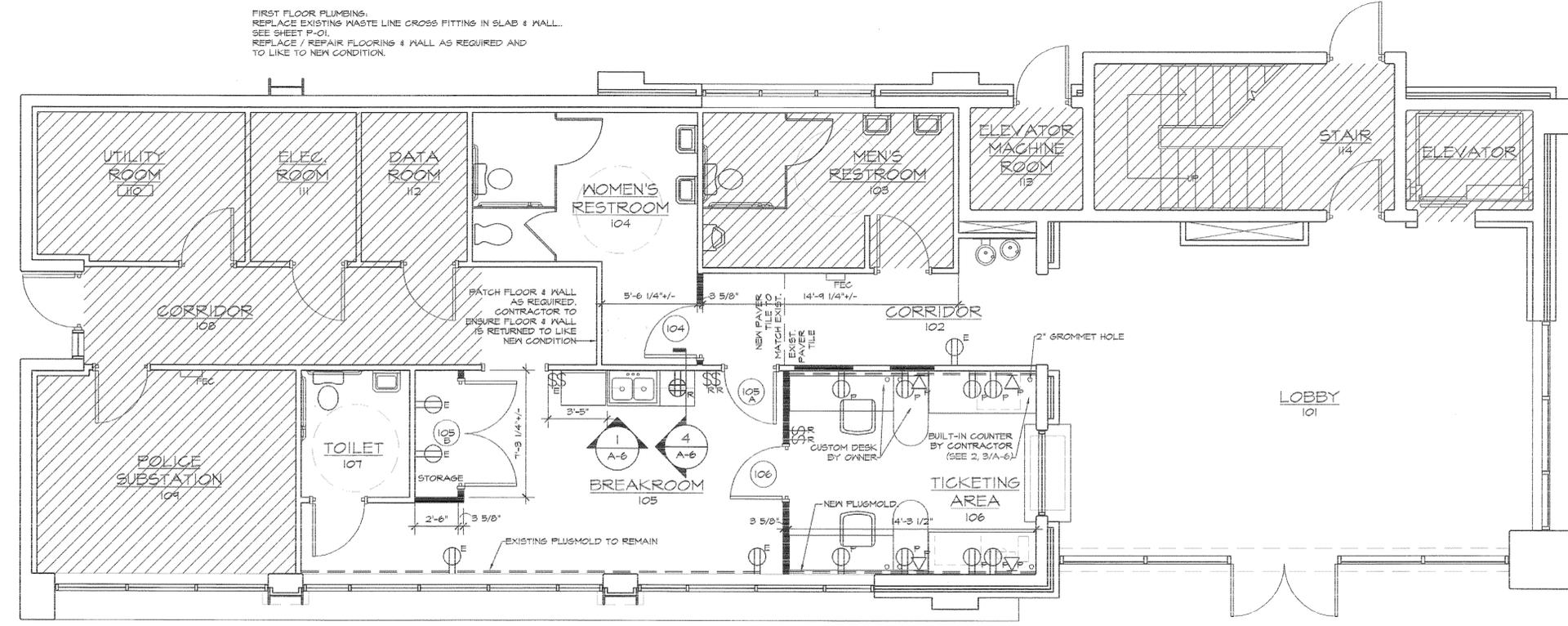
NOTES:
 1. VERIFY FIXTURE LOCATIONS AND CEILING HEIGHTS.
 2. VERIFY ALL DIMENSIONS.



1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTE:
1. VERIFY ALL DIMENSIONS.
2. CONTRACTOR TO COORDINATE DEMOLITION AND CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE DISRUPTION TO NORMAL DAILY BUSINESS ACTIVITIES.

FIRST FLOOR PLUMBING:
REPLACE EXISTING WASTE LINE CROSS FITTING IN SLAB & MALL.
SEE SHEET P-01.
REPLACE / REPAIR FLOORING & MALL AS REQUIRED AND TO LIKE TO NEW CONDITION.



2 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

- SYMBOL LEGEND**
- PROPOSED RECEPTACLE / FIXTURE
 - EXISTING RECEPTACLE / FIXTURE
 - RELOCATED RECEPTACLE / FIXTURE
- WALL LEGEND**
- EXISTING INTERIOR WALL TO REMAIN
 - EXISTING INTERIOR WALL TO REMAIN
 - EXISTING PARTITION WALL TO REMAIN
 - 3-5/8" METAL STUDS @ 16" O.C. W/ 5/8" GWB BOTH SIDES.
 - 1/2" CLEAR TEMPERED BUTT GLAZED OFFICE AND CONFERENCE ROOM WALLS. USE CLEAR SILICONE.
 - EXISTING 6" EXTERIOR WALL TO REMAIN
 - 16" EXISTING EXTERIOR WALL TO REMAIN
 - 20" EXISTING EXTERIOR WALL TO REMAIN

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PROJECT TITLE: RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC
SHEET TITLE: FLOOR PLANS

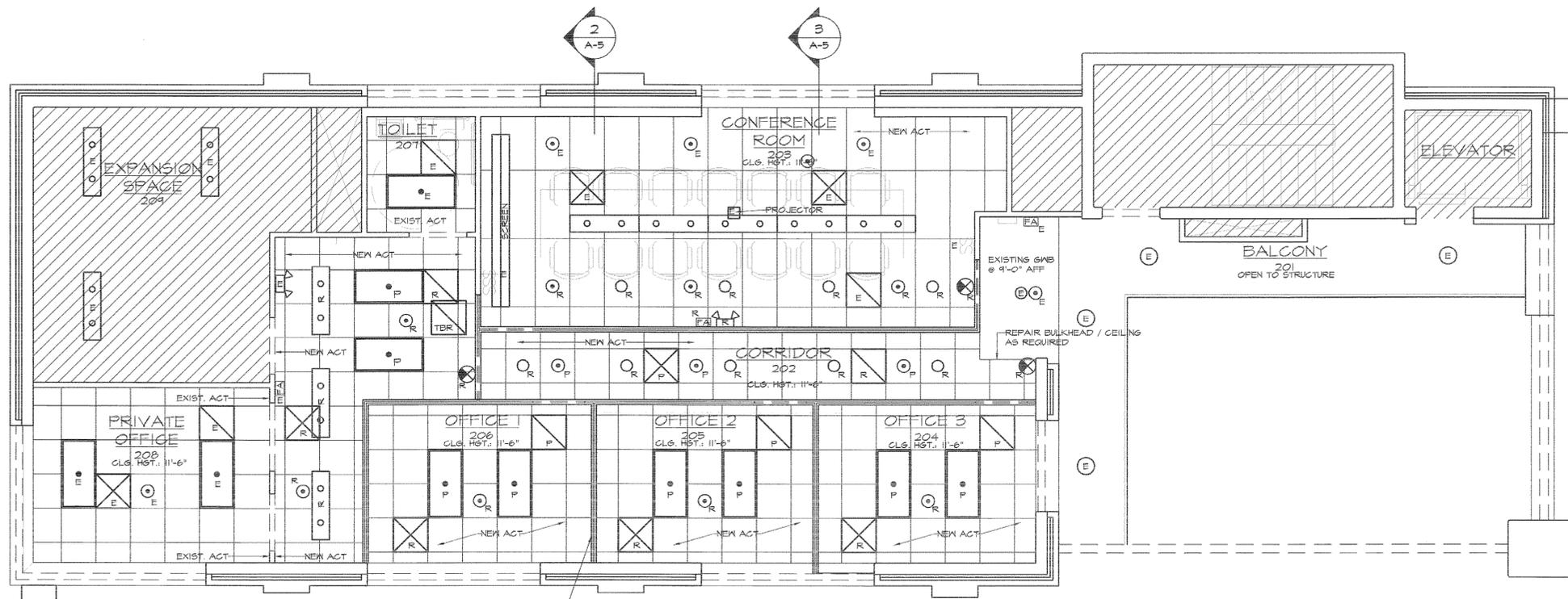
TODAY'S DATE: 10.10.2016
SCHEMATIC DESIGN APPR: XXXX
ORIGINAL SEAL DATE: XXXXXXXX

REVISIONS:

DRAWING #: 160404 FP
DRAWN BY: RKB
PROJECT MGR: VLM
CHECKED BY: V. MOORE

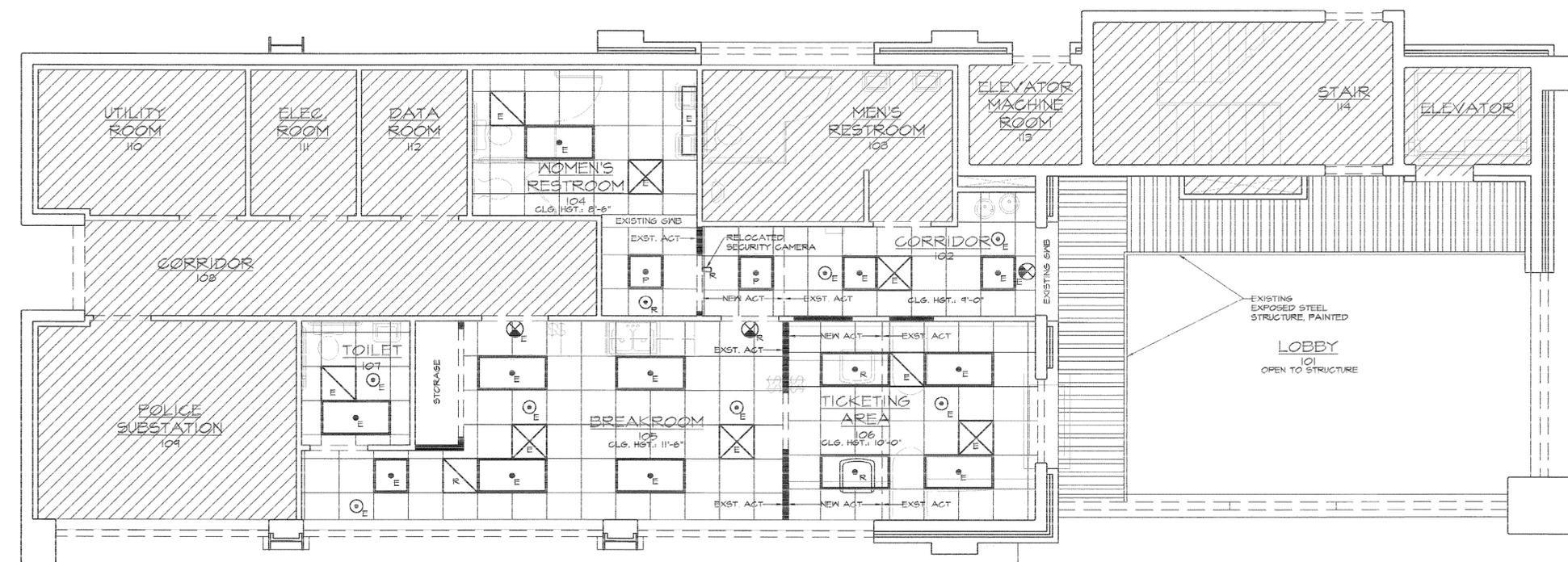
SHEET
A-3

OF 6 TOTAL # OF SHEETS: 16



1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE 1/4"=1'-0"

NOTE:
1. VERIFY ALL DIMENSIONS.
2. CONTRACTOR TO COORDINATE DEMOLITION AND CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE DISRUPTION TO NORMAL DAILY BUSINESS ACTIVITIES.



2 FIRST FLOOR REFLECTED CEILING PLAN
SCALE 1/4"=1'-0"

SYMBOL LEGEND

E	EXISTING FIXTURE
R	RELOCATED FIXTURE
P	PROPOSED FIXTURE
□ (with dot)	2X4 FLOURESCENT LAY-IN FIXTURE
□ (with dot)	2X2 FLOURESCENT LAY-IN FIXTURE
○	8" RECESSED CAN FIXTURE
○	PENDANT LIGHT (BALCONY)
□ (with grid)	2X4 ACOUSTICAL LAY-IN CEILING TILE
□ (with grid)	2X2 ACOUSTICAL LAY-IN CEILING TILE
□ (with X)	(HVAC) SUPPLY AIR GRILL
□ (with /)	(HVAC) RETURN AIR GRILL
—	4" FLOURESCENT STRIP
○ (with dot)	PENDANT MOUNTED INDIRECT FLOURESCENT
○	SPRINKLER HEAD
⊗	EXIT LIGHT
⬆	EMERGENCY DUAL HEAD
EA	STROBE LIGHT

NOTICE:
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Carlos Moore

UPFIT FOR
RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC

PROJECT TITLE:
REFLECTED CEILING PLANS

SHEET TITLE:

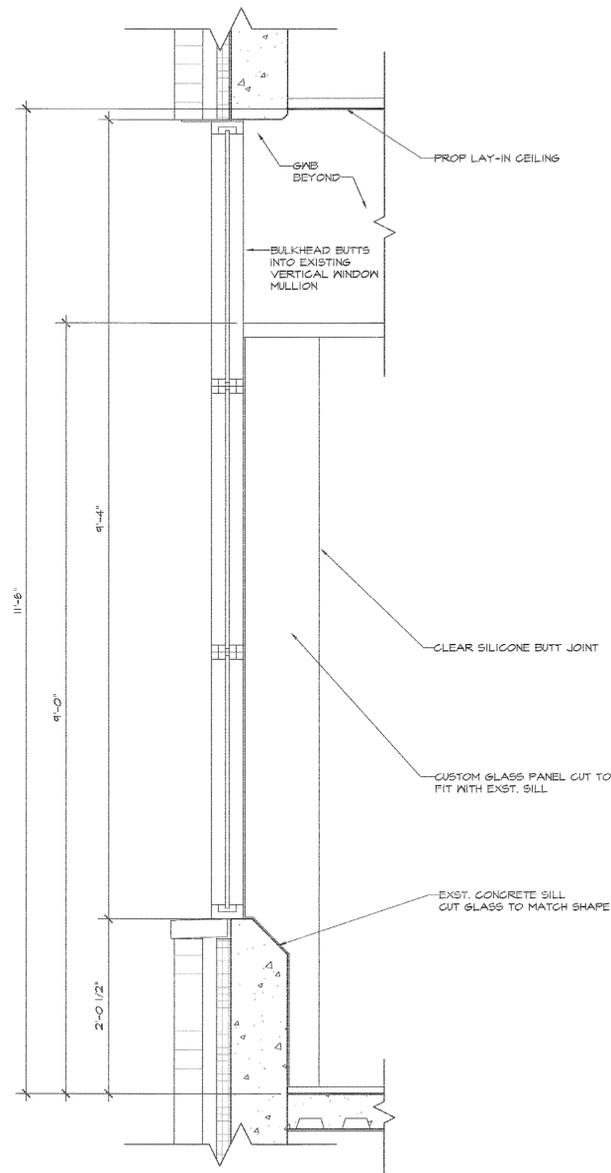
TODAY'S DATE: 10.10.2016
SCHEMATIC DESIGN APPR. XXX
ORIGINAL SEAL DATE: XXXXXXXX

REVISIONS:

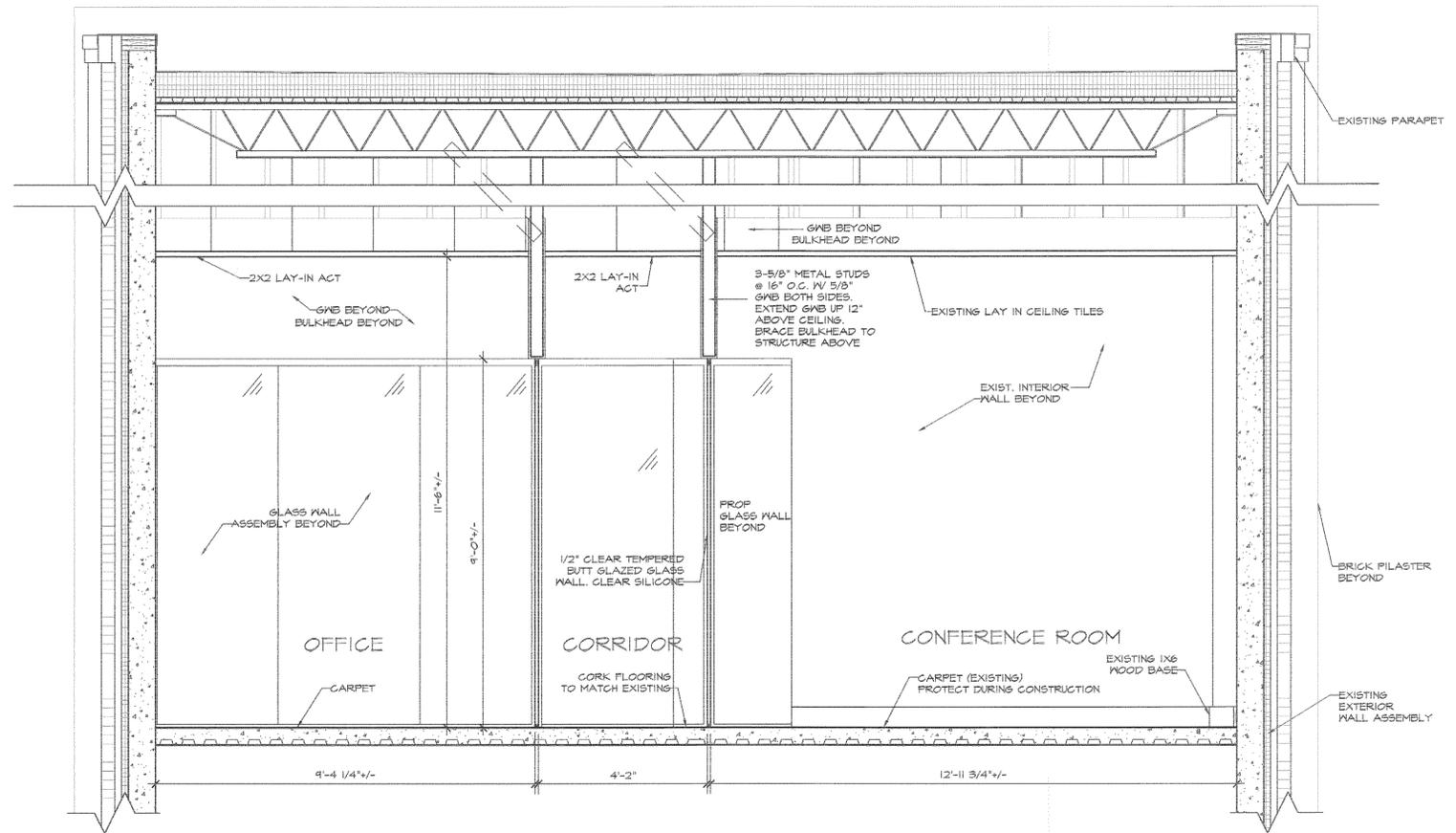
DRAWING #: 160404 FP
DRAWN BY: RKB
PROJECT MGR: VLM
CHECKED BY: V. MOORE

SHEET
A=4

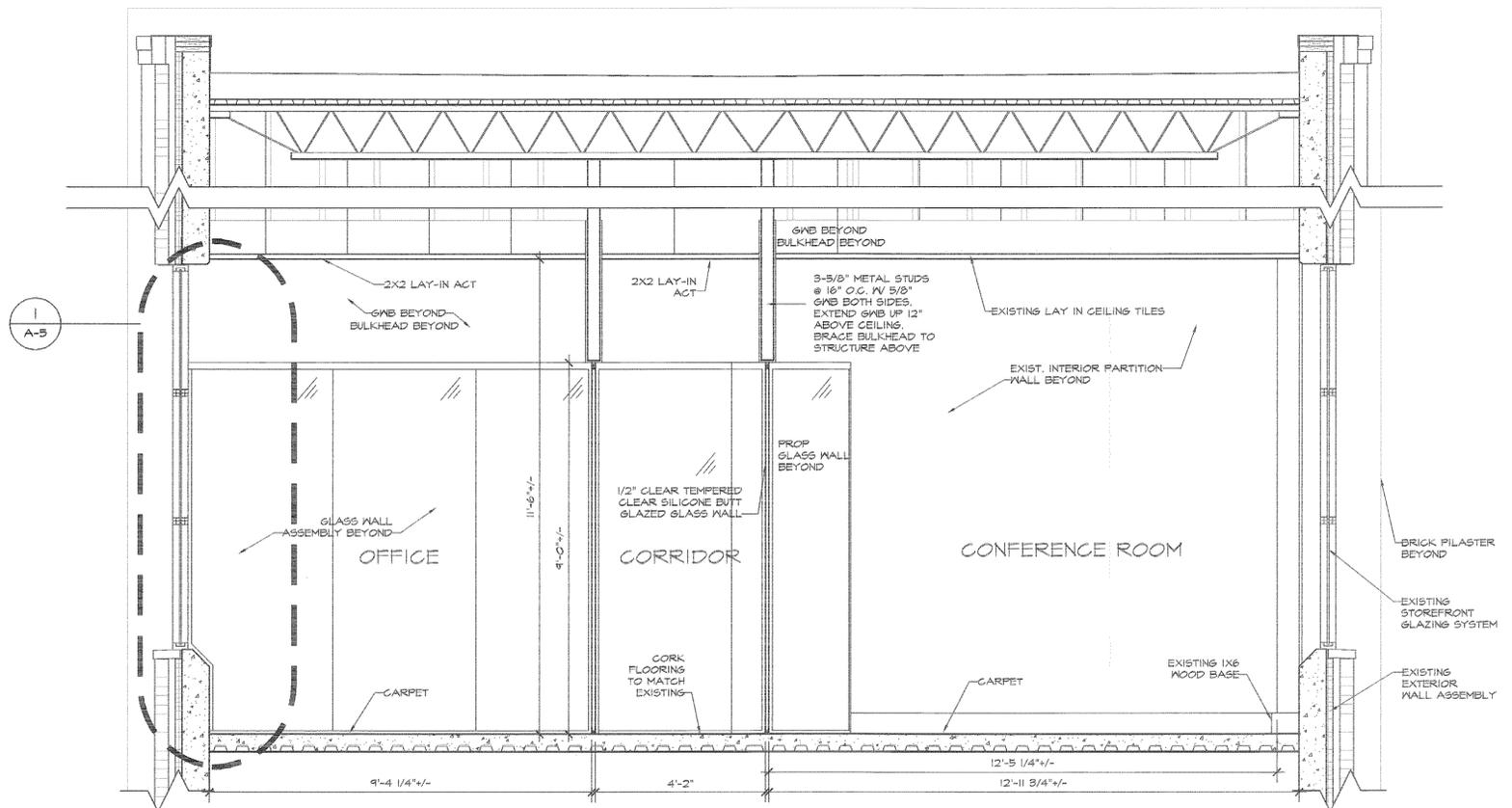
TOTAL # OF SHEETS: 16
OF 6



1
A-5 ENLARGED DETAIL
SCALE 1"=1'-0"
NOTE: VERIFY ALL DIMENSIONS



2
A-5 NORTH / SOUTH SECTION
SCALE 1/2"=1'-0"
NOTE: VERIFY ALL DIMENSIONS



3
A-5 NORTH / SOUTH SECTION
SCALE 1/2"=1'-0"
NOTE: VERIFY ALL DIMENSIONS

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PROJECT TITLE: RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC

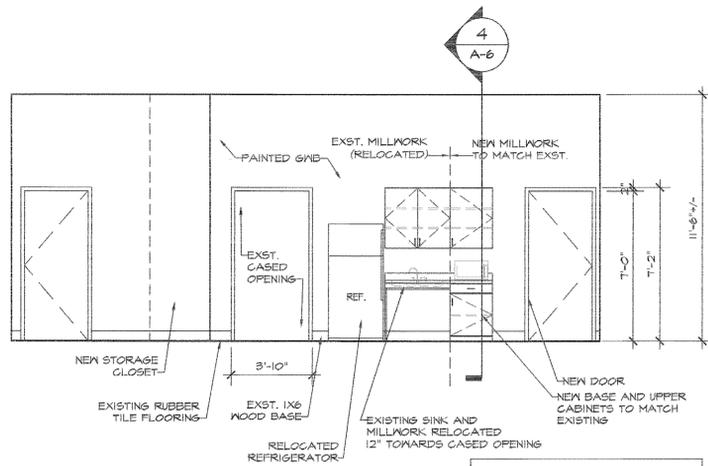
SHEET TITLE: BUILDING SECTIONS

TODAY'S DATE: 10.10.2016
SCHEMATIC DESIGN APPR. XXXX
ORIGINAL SEAL DATE: XXXX

REVISIONS:

DRAWING NUMBER: 160404 BS
DRAWN BY: RKB
PROJECT MGR: VLM
CHECKED BY: V. MOORE

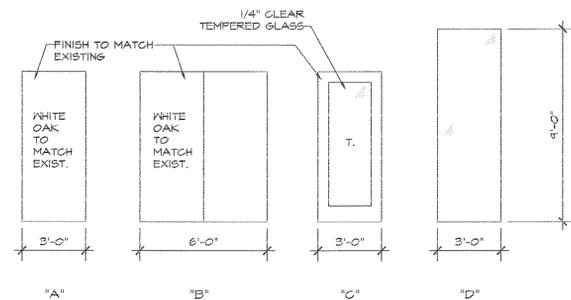
SHEET A-5
TOTAL # OF SHEETS: 16
OF 6



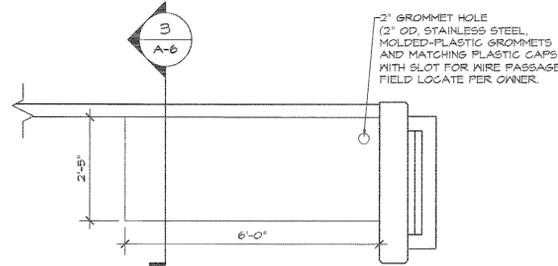
1 BREAK ROOM ELEV.
SCALE 1/4"=1'-0"

NOTE: VERIFY ALL DIMENSIONS

ALTERNATE #2: IN LIEU OF ADDING ONLY A 24" SECTION OF NEW CABINETRY IN THE EXISTING BREAK ROOM, REPLACE ENTIRE LENGTH WITH NEW CABINETS. TOTAL LENGTH OF NEW CABINETRY WOULD BE 5'-0" LONG. SINK SECTION SHALL BE ACCESSIBLE AND LAMINATE SHALL BE SELECTED BY OWNER FROM STANDARD COLORS. PROVIDE NEW BASE TO MATCH AS REQUIRED.

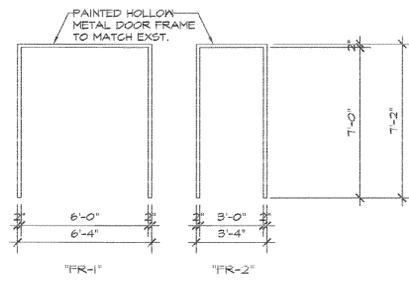


5 DOOR ELEVATIONS
SCALE 1/4"=1'-0"

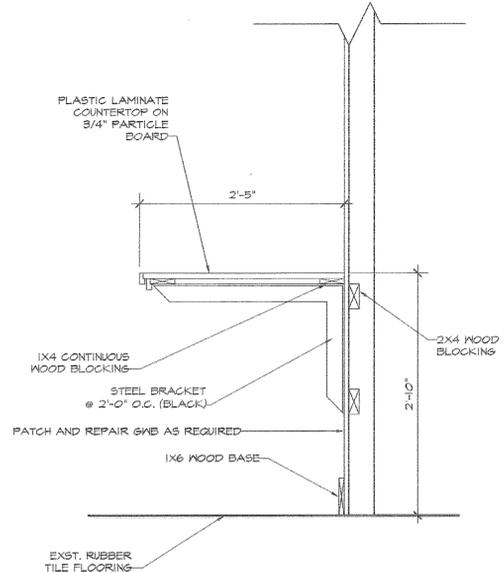


2 TICKETING AREA BUILT-IN COUNTER PLAN
SCALE 1/2"=1'-0"

NOTE: VERIFY ALL DIMENSIONS

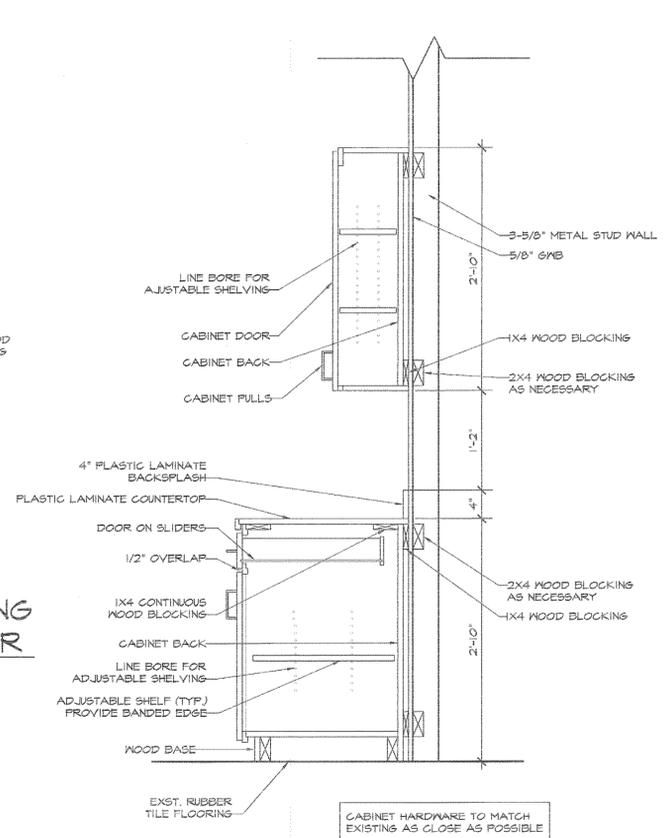


6 DOOR FRAME ELEVATIONS
SCALE 1/4"=1'-0"



3 SECTION THRU TICKETING AREA BUILT-IN COUNTER
SCALE 1"=1'-0"

NOTE: VERIFY ALL DIMENSIONS



4 CABINET SECTION (TYP.)
SCALE 1"=1'-0"

NOTE: VERIFY ALL DIMENSIONS
NOTE: VERIFY CABINET CONSTRUCTION
NEW CABINET TO MATCH EXST.

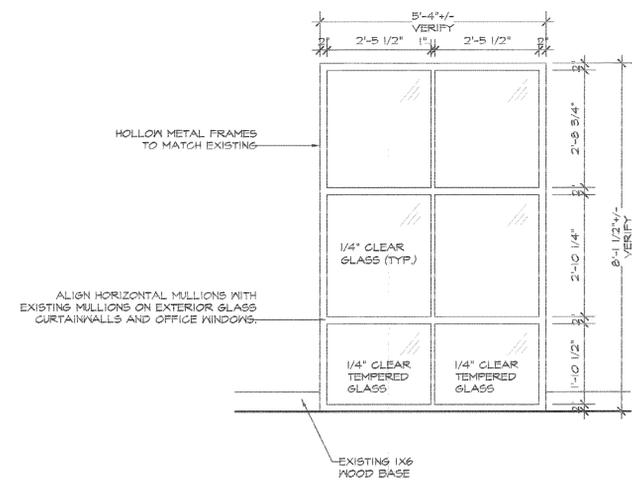
DOOR SCHEDULE						
DOOR #	SIZE	DOOR ELEV	FRAME TYPE	HDM SET #	RATED	REMARKS
104	3070 x 1 3/4"	A	FR-2	#2		
105A	3070 x 1 3/4"	A	FR-2	#1		
105B	PR. 3070 x 1 3/4"	B	FR-1	#4		PAIR DOORS
106	3070 x 1 3/4"	C	FR-2	#3		
201	3090	D	--	#5		
202	3090	D	--	#5		
203	3090	D	--	#5		ADD FLOOR STOP
204	3090	D	--	#6		
205	3090	D	--	#6		
206	3090	D	--	#6		

NOTE: VERIFY ALL DIMENSIONS

DOOR HARDWARE SETS

NOTE: ALL HARDWARE SHALL MEET ADA & ANSI CODE AND SHALL BE ACCESSIBLE. LEVER TYPE HANDLES.

- SET #1
3 BUTTS
HANDLES TO MATCH EXST.
ELECTRONIC DOOR STRIKE
STOREROOM LOCKSET
CLOSER
OVERHEAD STOP
3 SILENCERS
- SET #2
3 BUTTS
CLOSER
PUSH/PULL TO MATCH EXST.
KICKPLATE
WALL STOP
3 SILENCERS
MOP PLATE
- SET #3
OVERHEAD CONCEALED CLOSER
2 LADDER PULLS
2 PIVOTS
- SET #4
6 BUTTS
MOP PLATES
HOLD DOWNS (2)
HANDLES TO MATCH EXST.
FLUSH BOLT
LOCKSET
6 SILENCERS
- SET #5
OVERHEAD CONCEALED CLOSER
2 LADDER PULLS
LOCKSET
2 PIVOTS



7 WINDOW ELEV. @ OFFICE 3
SCALE 1/2"=1'-0"

NOTE: VERIFY ALL DIMENSIONS

ROOM FINISH SCHEDULE							
ROOM NAME	ROOM #	FLOOR	BASE	WALLS	CEILING		REMARKS
					TYPE	HGT.	
CORRIDOR	102	PAVER TILE	1X6 WHITE OAK	PAINTED GNB	2X2 LAY-IN	9'-0" +/-	PAINT & TILES TO MATCH EXISTING
W. RESTROOM	104	EPOXY	RUBBER	PAINTED GNB, EPOXY TO MATCH EXISTING	2X2 LAY-IN	8'-6" +/-	PAINT & EPOXY TO MATCH EXISTING
BREAKROOM	105	RUBBER TILE	1X6 WHITE OAK	PAINTED GNB	2X2 LAY-IN	11'-6" +/-	PAINT & TILES TO MATCH EXISTING
TICKET. AREA	106	RUBBER TILE	1X6 WHITE OAK	PAINTED GNB	2X2 LAY-IN	10'-0" +/-	PAINT & TILES TO MATCH EXISTING
CORRIDOR	202	CORK TILE	1X6 WHITE OAK	9'-0" HIGH 1/2" CLEAR BUTT GLAZED GLASS WALL	2X2 LAY-IN (NEW)	11'-6" +/-	CORK TILE TO MATCH EXISTING
CONF. ROOM	203	CARPET	1X6 WHITE OAK	9'-0" HIGH 1/2" CLEAR BUTT GLAZED GLASS WALL	EXISTING	11'-6" +/-	
OFFICE 3	204	CARPET	1X6 WHITE OAK	9'-0" HIGH 1/2" CLEAR BUTT GLAZED GLASS WALL	2X2 LAY-IN (NEW)	11'-6" +/-	
OFFICE 2	205	CARPET	1X6 WHITE OAK	9'-0" HIGH 1/2" CLEAR BUTT GLAZED GLASS WALL	2X2 LAY-IN (NEW)	11'-6" +/-	
OFFICE 1	206	CARPET	1X6 WHITE OAK	9'-0" HIGH 1/2" CLEAR BUTT GLAZED GLASS WALL	2X2 LAY-IN (NEW)	11'-6" +/-	

NOTE: VERIFY ALL DIMENSIONS

NOTES:
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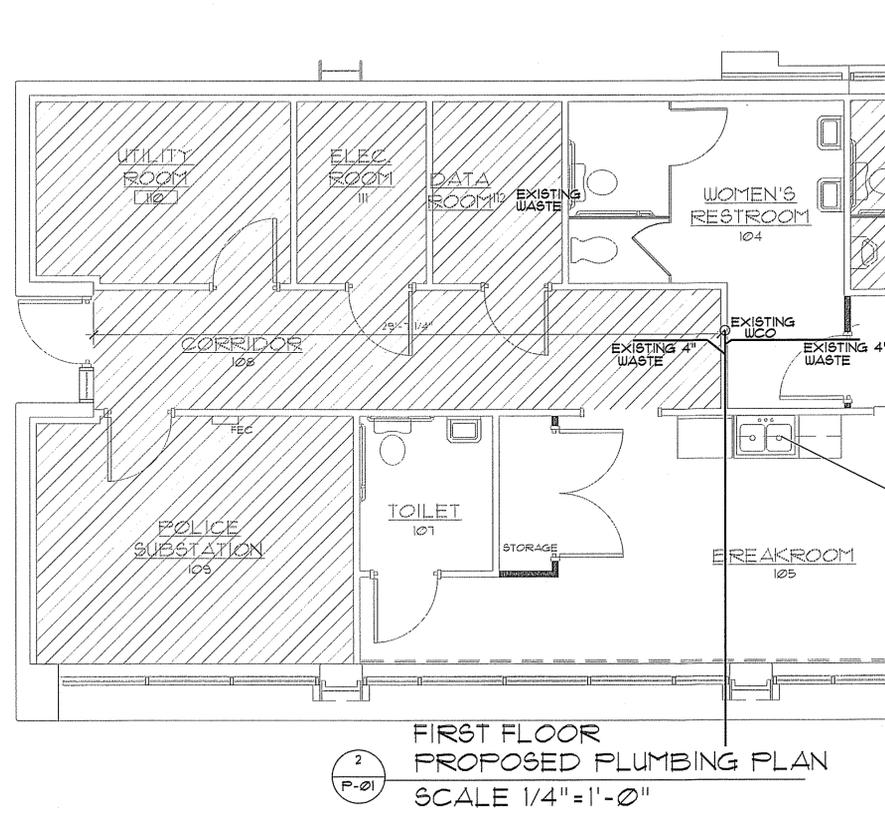
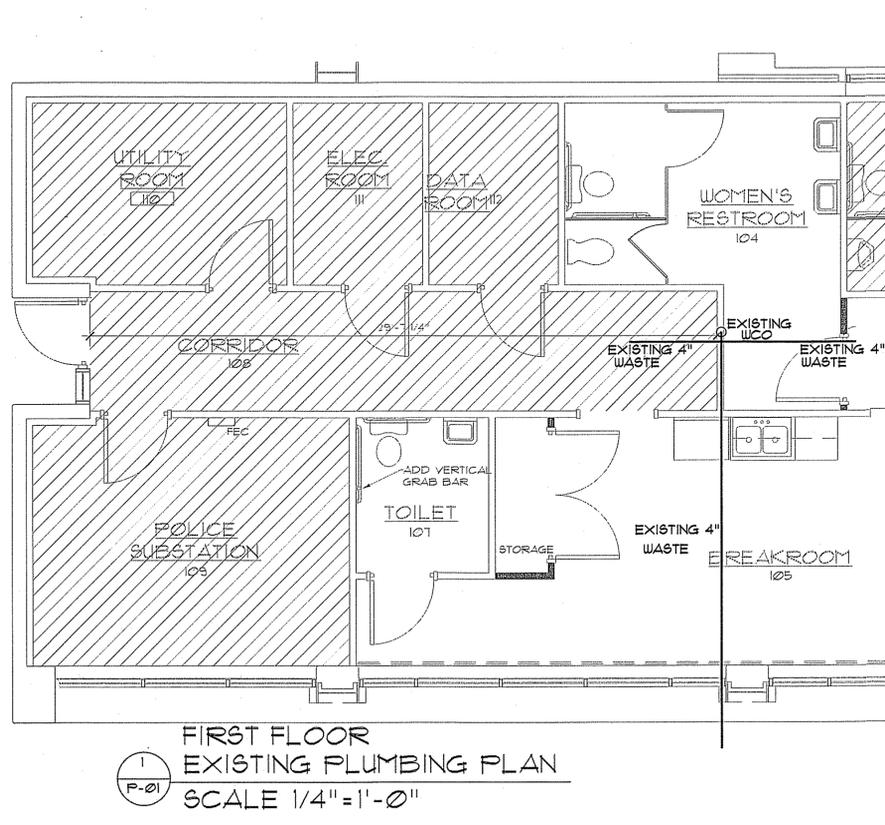
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UPFIT FOR
RIDER TRANSIT CENTER
3600 S. RIDGE AVENUE, CONCORD, NC
INT. ELEVATIONS & SCHEDULES

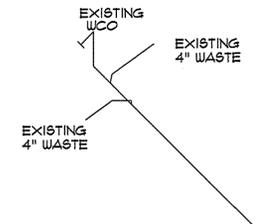
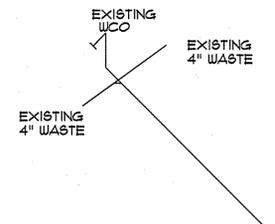
TODAY'S DATE: 10.10.2016
SCHEMATIC DESIGN APPR. XXX
ORIGINAL SEAL DATE: XXXXXXXX

REVISIONS:
DRAWING # 160404 IE
DRAWN BY: RKB
PROJECT MGR: VLM
CHECKED BY: V. MOORE

SHEET
A-6
TOTAL # OF SHEETS: 16



RELOCATE AND RECONNECT EXISTING FIXTURES WITH CABINET RELOCATION



3 EXISTING PIPING ARRANGEMENT
P-01 NTS

4 PROPOSED PIPING ARRANGEMENT
P-01 NTS

5 SCOPE NOTE
P-01

-THE PLUMBING SCOPE OF THIS PLAN IS TO ALTER THE EXISTING WASTE PIPING BY THE REPLACEMENT OF THE CROSS CONNECTION WITH TWO (2) INDIVIDUAL WYE CONNECTIONS. THIS IS IN RESPONSE TO CLOGS THE OCCUPANT IS CURRENTLY EXPERIENCING. THE WORK SHALL INCLUDE ALL PIPING, SEALANTS, MATERIALS AND COMPONENTS TO PROVIDE FOR A FUNCTIONAL SYSTEM. THE REPAIR AND PATCHING OF EXISTING FLOORING SHALL BE BY GENERAL CONTRACTOR, REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS. NOTIFY ENGINEER OF DISCREPANCIES
-LAYOUT TAKEN FROM AS-BUILT DRAWINGS PROVIDED, PLUMBING CONTRACTOR SHALL FIELD VERIFY AND NOTIFY ENGINEER OF DISCREPANCIES

1 PLUMBING NOTES & DETAILS
P-01 NTS

1. THE PLUMBING CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH THE APPROVED EDITIONS OF THE 2012 NC PLUMBING CODE, THE LOCAL ADMINISTRATIVE AUTHORITY AND APPLICABLE NFPA CODES. INSULATE DOMESTIC COLD & HOT WATER PIPING. PATCH EXISTING INSULATION WHERE DAMAGED UNDER CONSTRUCTION AND WHERE NEW CONNECTIONS ARE MADE.
2. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION. ACREAGE CHARGES, BONDS, PROPERTY ASSESSMENTS AND FACILITIES CHARGE SHALL NOT BE CONSTRUED TO BE A PART OF THIS SECTION OF THE SPECIFICATIONS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF TURNOVER OF THE WORK TO THE OWNER.
3. ALL MATERIALS AND EQUIPMENT PROVIDED AND/OR INSTALLED UNDER THIS SECTION OF THE SPECIFICATIONS SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR FROM THE DATE OF TURNOVER OF THE WORK TO THE OWNER.
4. THE PLUMBING CONTRACTOR SHALL COORDINATE WORK WITH THE CONTRACTORS OF OTHER TRADES, AND COMPLETE THE ENTIRE INSTALLATION AS SOON AS THE CONDITIONS OF THE BUILDING PERMITS.
5. INSTALL ANY GAS PIPING IN ACCORDANCE WITH 2012 NC GAS CODES, REQUIREMENTS OF LOCAL GAS SUPPLIER AND NBFU.
6. DOMESTIC WATER PIPE AND FITTINGS INSIDE BUILDINGS SHALL BE TYPE L COPPER BELOW AND ABOVE GRADE, JOINTS SHALL BE 95/5 SOLDER, UNLESS SPECIFIED OTHERWISE.
7. FIRESTOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS AND PARTITIONS. PROVIDE A DEVICE(S) OR SYSTEM(S) WHICH HAS BEEN TESTED AND LISTED AS COMPLYING WITH ASTM E-814. INSTALL THE DEVICE(S) OR SYSTEM(S) IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE A DEVICE(S) OR SYSTEM(S).
8. ALL PLUMBING FIXTURES ARE TO BE EQUIPPED WITH WATER HAMMER ARRESTORS AS PER 2012 NC PLUMBING CODE 604.9. PLUMBING CONTRACTOR AND GENERAL CONTRACTOR TO VERIFY.
9. ALL PLUMBING MATERIALS USED WILL COMPLY WITH THE 2012 NC PLUMBING CODE.
 - A) ANY ABOVE-GROUND DRAINAGE AND VENT PIPING SHALL COMPLY WITH SECTION 102.1
 - B) ANY UNDERGROUND SANITARY DRAINAGE AND VENT PIPING SHALL COMPLY WITH SECTION 102.2
 - C) ANY WATER SERVICE PIPE SHALL COMPLY WITH SECTION 605.3
 - D) ANY WATER DISTRIBUTION PIPE SHALL COMPLY WITH SECTION 605.4.
10. PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS, SPECIFIED AND AS REQUIRED BY CODE. REFER TO ARCHITECT/ENGINEER FOR ANY QUESTIONS OF INTENT OR DISCREPANCIES OR CONFLICTING INFORMATION.
11. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY MATERIALS, EQUIPMENT OR CONFIGURATION BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION.
12. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK PRIOR TO SUBMITTING THE BID PROPOSAL. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. IDENTIFY ALL DISCREPANCIES TO THE ENGINEER. THERE SHALL BE NO EXTRA CHARGES SHALL BE ACCEPTED FOR THE WORK THAT HAS TO BE PERFORMED DUE TO THE CONTRACTOR'S NEGLIGENCE TO VERIFY THE EXISTING CONDITIONS.
13. NO EXTRA COMPENSATION WILL BE CONSIDERED FOR WORK REFERENCED OR IMPLIED IN THE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS MAY INCLUDE BUT NOT BE LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, ARCHITECTURAL, OR STRUCTURAL. NOR WILL EXTRA COMPENSATION WILL BE CONSIDERED FOR WORK REFERENCED TO OR IMPLIED ON THE CONTRACT DOCUMENT BUT NOT INCLUDED IN THE BID UNLESS ABSOLUTELY NOTED AS SUCH ON THE SUBMITTED BID DOCUMENTS.
14. THE CONTRACTOR SHALL PROVIDE FOR ANY RELOCATION COSTS TO THE EXISTING PLUMBING SYSTEM AND COMPONENTS OR EQUIPMENT REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.
15. COORDINATE WITH ARCHITECTURAL WORKING DRAWINGS PRIOR TO ROUGHING- IN
16. FIELD VERIFY ALL DIMENSIONS.

- 1) WASTE: SCHEDULE 40 PVC
- 6 MATERIAL SPECIFICATION
P-01 NTS

CAR Engineering
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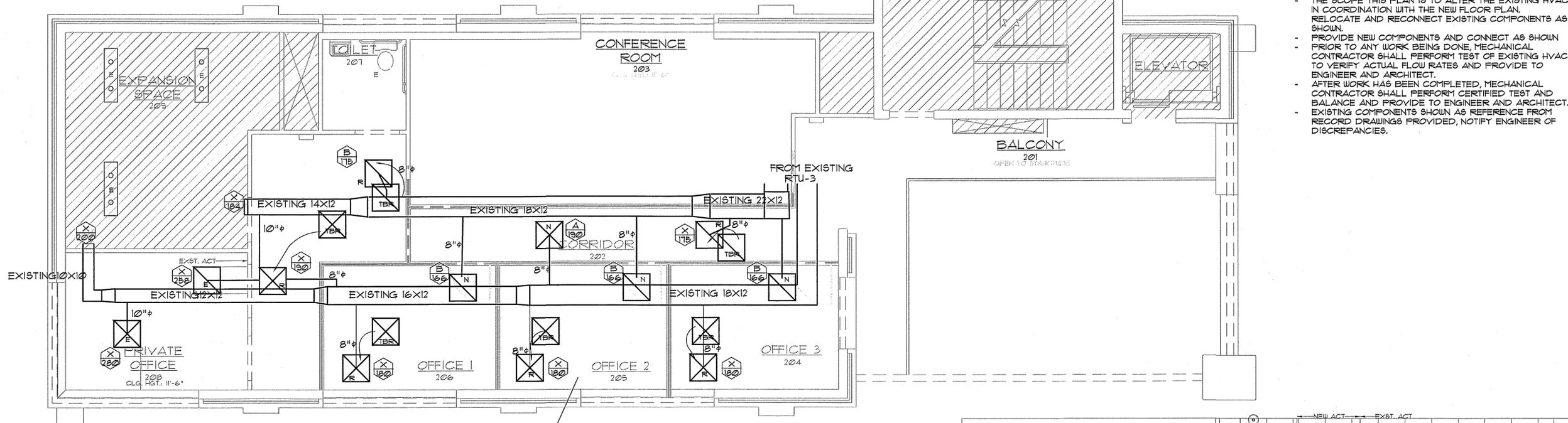
PROJECT: RIDER TRANSIT CENTER
S. RIDGE AVENUE, CONCORD, NC

PLUMBING PLAN

Drawn By: RAUOLZHEIMER
Check by: GRIFFE

DOC. NO.	DATE	DESCRIPTION

FULL SUBMITTALS REQUIRED

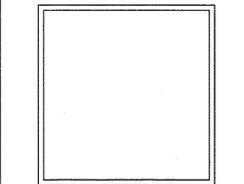


5 M-01 SCOPE NOTE

- THE SCOPE THIS PLAN IS TO ALTER THE EXISTING HVAC IN COORDINATION WITH THE NEW FLOOR PLAN. RELOCATE AND RECONNECT EXISTING COMPONENTS AS SHOWN.
- PROVIDE NEW COMPONENTS AND CONNECT AS SHOWN PRIOR TO ANY WORK BEING DONE. MECHANICAL CONTRACTOR SHALL PERFORM TEST OF EXISTING HVAC TO VERIFY ACTUAL FLOW RATES AND PROVIDE TO ENGINEER AND ARCHITECT.
- AFTER WORK HAS BEEN COMPLETED, MECHANICAL CONTRACTOR SHALL PERFORM CERTIFIED TEST AND BALANCE AND PROVIDE TO ENGINEER AND ARCHITECT.
- EXISTING COMPONENTS SHOWN AS REFERENCE FROM RECORD DRAWINGS PROVIDED, NOTIFY ENGINEER OF DISCREPANCIES.

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 ARCHITECT PA
 222 CALICO STREET, SUITE 100
 FARMINGTON, CT 06031
 TEL: 783.833.3333 FAX: 783.833.3333

10-1-16
 SEAL 16396
 ENGINEER
 GREGORY A. HART



PROJECT: **OFFICE FOR RIDER TRANSIT CENTER**
 S. RIDGE AVENUE, CONCORD, NC
MECHANICAL PLAN

Drawn By: **RULCHMEYER**
 Checked By: **GRITTE**

DOC. NO.	DATE	DESCRIPTION

DATE: 10/14/2016 SHEET NUMBER: **M-01**

1 M-01 SECOND FLOOR PROPOSED MECHANICAL PLAN
 SCALE 1/4" = 1'-0"

REFER TO ARCHITECTURAL PLANS FOR FULL REFLECTIVE CEILING PLAN TYPICAL ALL ROOMS

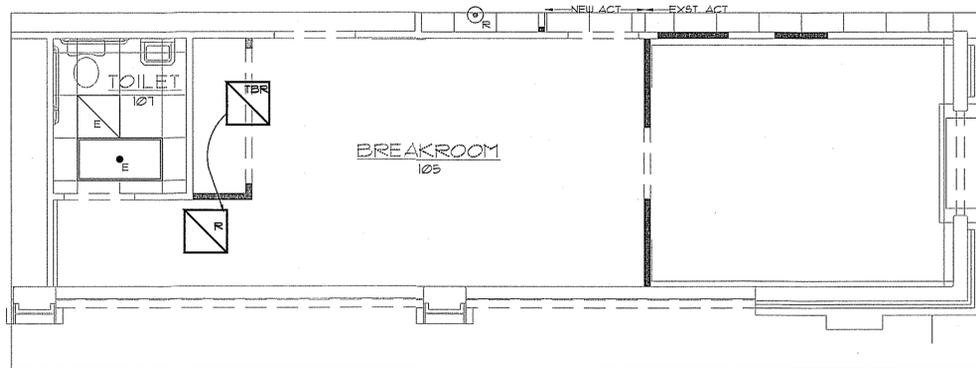
SYMBOL	SERVICE	TYPE	FINISH	NECK	FACE	REF. MODEL
A	SUPPLY	LAY IN DIFFUSER	VERIFY WITH OWNER	NOTE 2	24X24	PRICE SPD
B	RETURN	LAY IN GRILLE	VERIFY WITH OWNER	NOTE 2	24X24	PRICE B1
X	SUPPLY RETURN	EXISTING COMPONENT				

- ACCEPTABLE MANUFACTURERS: PRICE, TITUS, TUTTLE & BAILEY, HART & COOLEY
 SEE ARCHITECTURAL CEILING PLAN FOR PROPER FRAME STYLE.
1. THE BACK OF ALL SUPPLY, RETURN, AND TRANSFER AIR DEVICES SHALL BE INSULATED A MINIMUM OF R-6 OR EQUAL TO CEILING INSULATION RATING. COORDINATE MOUNTING BORDER OF SUPPLY, RETURN, AND EXHAUST GRILLES WITH CEILING TYPE.
 2. DUCT RUN-OUTS TO AIR DEVICES SHALL BE SIZE SHOWN ON PLANS, OR EQUAL TO DIAMETER OF THE NECK SIZE LISTED ABOVE OR ON PLANS.
 3. ALL DIFFUSERS SHALL BE 4-WAY PATTERN AIR DISCHARGE UNLESS INDICATED OTHERWISE INDICATED THE DRAWINGS.
 4. FINAL FINISH TO MATCH SURFACE COLOR. VERIFY WITH ARCHITECTURALS.

4 M-01 NEW/EXISTING LEGEND

NTS

- EXISTING COMPONENT TO BE RELOCATED AND RECONNECTED
- EXISTING COMPONENT RELOCATED LOCATION
- NEW COMPONENT CONNECT AS SHOWN

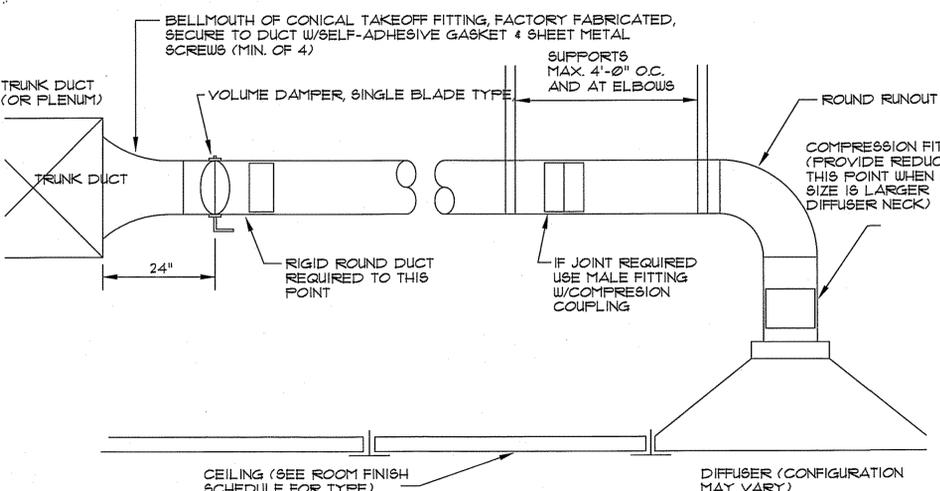


5 M-01 FIRST FLOOR PROPOSED MECHANICAL PLAN
 SCALE 1/4" = 1'-0"

6 M-01 MECHANICAL GENERAL NOTES
 NTS

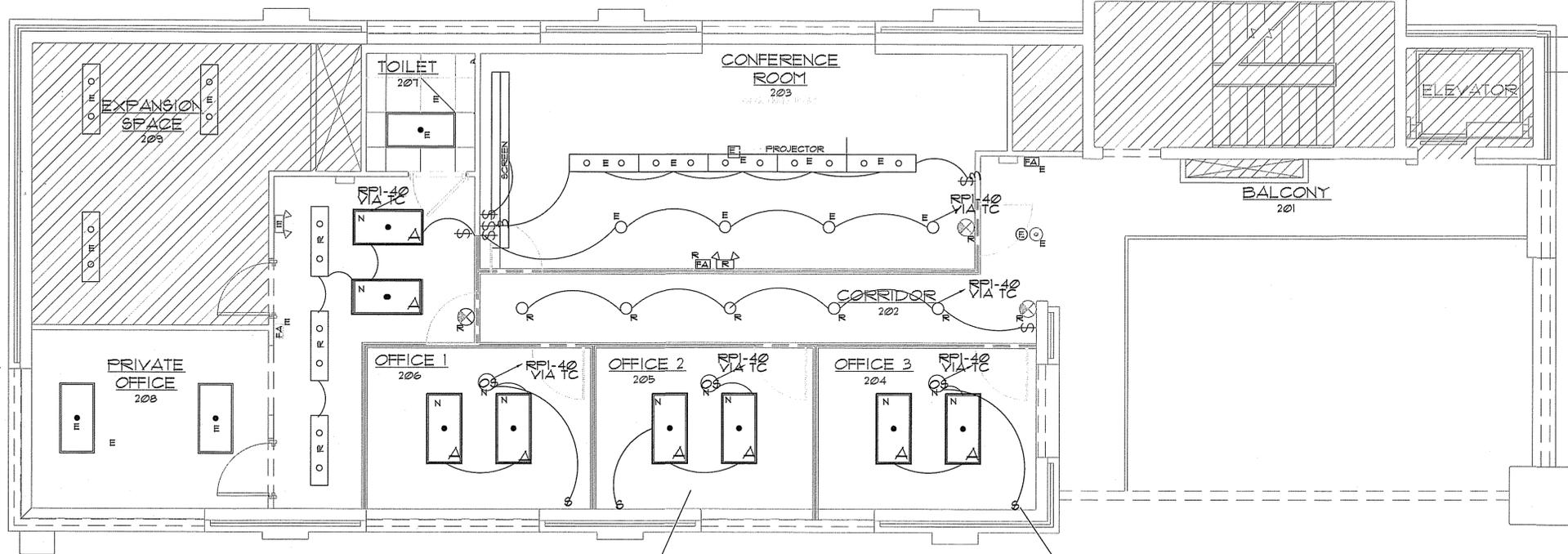
1. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.
2. ALL DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH THE LATEST SMACNA STANDARDS. ALL RECTANGULAR SUPPLY AND RETURN DUCTWORK AND ALL ROUND DUCT SHALL MEET THE REQUIREMENTS OF NC ENERGY CODE.
3. CONDENSATE DRAIN PIPING SHALL BE HARD DRAWN COPPER (TYPE "L"), PVC ACCEPTED ALTERNATE.
4. ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH WALLS AND ROOF SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER. ALL BUILDING ASSEMBLIES SHALL BE PATCHED AND REPAIRED TO MATCH THE EXISTING OR IN COORDINATION WITH DIRECTION OF ARCHITECT.
5. ALL PIPING AND DUCTWORK LOCATIONS SHALL BE COORDINATED WITH THE WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS, TO AVOID INTERFERENCE.
6. ANY DEVICE REQUIRING A THERMOSTAT FOR CONTROL SHALL BE FURNISHED WITH A THERMOSTAT WHETHER INDICATED ON THE DRAWINGS OR NOT.
7. LOCATE ALL THERMOSTATS AND SWITCHES 48" AFF. TO MEET NC ACCESSIBILITY CODE LATEST EDITION.
8. MECHANICAL CONTRACTOR SHALL BALANCE SYSTEM TO AIR QUANTITIES INDICATED ON PLANS.
9. CONTRACTOR SHALL COORDINATE DESIGN DRAWINGS WITH ARCHITECTURAL DRAWINGS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. THESE DESIGNS ARE BASED ON ARCHITECTURAL PLANS PROVIDED.
10. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS, EQUIPMENT, AND WORKMANSHIP AGAINST ALL DEFECTS OF ANY DESCRIPTION FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL COMPLETION/ACCEPTANCE OF THE WORK. ANY PART OF THIS WORK TO BE FOUND DEFECTIVE DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AS SOON AS POSSIBLE AFTER NOTIFICATION AT NO EXTRA COST TO THE OWNER.
11. CLEAR AREA DIMENSIONS. INTERIOR DUCT INSULATION MUST HAVE A R-VALUE OF 5.0. ANY FLEX DUCT WHICH RUNS OVER TEN FEET SHALL HAVE A R-VALUE OF 6.0. ANY FLEX DUCT WHICH RUNS IN ATTIC SPACE SHALL HAVE A R-VALUE OF 8.0.
12. COORDINATE ELECTRICAL REQUIREMENTS OF THE UNITS WITH ELECTRICAL CONTRACTOR.
13. PROVIDE RETURN AIR GRILL WITH FILTER.
14. ALL UNITS TO BE WIRED FOR SINGLE SOURCE POWER. ALL AIR HANDLERS SHALL HAVE AN AUTOMATIC SHUTDOWN SWITCH INSTALLED.
15. BATHROOM TO BE EQUIPPED WITH EXHAUST FANS PROVIDED BY THE MECHANICAL CONTRACTOR. MECHANICAL CONTRACTOR TO PROVIDE AND INSTALL DUCT TO OUTSIDE. FANS SHALL BE WIRED BY ELECTRICAL CONTRACTOR.
16. MECHANICAL CONTRACTOR TO COORDINATE DUCTWORK LAYOUT WITH ALL TRADES.
17. REFRIGERANT LINES TO BE SIZED BY MANUFACTURE FOR LENGTH OF RUN BETWEEN COIL AND CONDENSER.
18. VERIFY THERMOSTAT LOCATIONS WITH OWNER.
19. MECHANICAL SYSTEM TO BE BALANCED AND TESTED AFTER INSTALLATION TO ASSURE PROPER OPERATION. PROVIDE CERTIFIED TAB REPORT TO ENGINEER AT PROJECT CLOSE OUT.
20. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH THE APPROVED EDITIONS OF THE 2012 NC MECHANICAL BUILDING CODE, THE LOCAL ADMINISTRATIVE AUTHORITY, SMACNA STANDARDS, AND APPLICABLE NFPA CODES.
21. PROVIDE ALL MATERIALS AND EQUIPMENT AND PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE AND OPERABLE MECHANICAL SYSTEMS AS INDICATED ON THE DRAWINGS, SPECIFIED AND AS REQUIRED BY CODE. REFER TO ARCHITECT/ENGINEER FOR ANY QUESTIONS OF INTENT OR DISCREPANCIES OR CONFLICTING INFORMATION.
22. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY MATERIALS, EQUIPMENT, OR CONFIGURATION BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION.
23. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, VISIT THE SITE, AND BECOME THOROUGHLY FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK PRIOR TO SUBMITTING THE BID PROPOSAL. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. IDENTIFY ALL DISCREPANCIES TO THE ENGINEER. THERE SHALL BE NO EXTRA CHARGES SHALL BE ACCEPTED FOR THE WORK THAT HAS TO BE PERFORMED DUE TO THE CONTRACTOR'S NEGLIGENCE TO VERIFY THE EXISTING CONDITIONS.
24. NO EXTRA COMPENSATION WILL BE CONSIDERED FOR WORK REFERENCED OR IMPLIED IN THE CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS MAY INCLUDE BUT NOT BE LIMITED TO: ELECTRICAL, MECHANICAL, PLUMBING, ARCHITECTURAL, OR STRUCTURAL. NOR WILL EXTRA COMPENSATION BE CONSIDERED FOR WORK REFERENCED TO OR IMPLIED ON THE CONTRACT DOCUMENT BUT NOT INCLUDED IN THE BID UNLESS ABSOLUTELY NOTED AS SUCH ON THE SUBMITTED BID DOCUMENTS.
25. THE CONTRACTOR SHALL PROVIDE FOR ANY RELOCATION COSTS TO THE EXISTING MECHANICAL SYSTEM AND COMPONENTS OR EQUIPMENT REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION.
26. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION. AGENCY CHARGES, BONDS, PROPERTY ASSESSMENTS AND FACILITIES CHARGE SHALL NOT BE CONSIDERED TO BE A PART OF THIS CONTRACT.
27. COORDINATE WITH ARCHITECTURAL WORKING DRAWINGS PRIOR TO ROUGHING- IN FIRESTOP ALL PENETRATIONS, BY PIPING OR CONDUITS, OF FIRE RATED WALLS, FLOORS, AND PARTITIONS. PROVIDE A DEVICE(S) OR SYSTEM(S) WHICH HAS BEEN TESTED AND LISTED. INSTALL THE DEVICE(S) OR SYSTEM(S) IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. PROVIDE A DEVICE(S) OR SYSTEM(S) WITH AN "F" RATING EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.
28. FIELD VERIFY ALL DIMENSIONS.
29. FIELD VERIFY ALL DIMENSIONS.

2 M-01 AIR DISTRIBUTION SCHEDULE
 NTS



3 M-01 TYPICAL DUCT TAKEOFF
 NTS

FULL SUBMITTALS REQUIRED

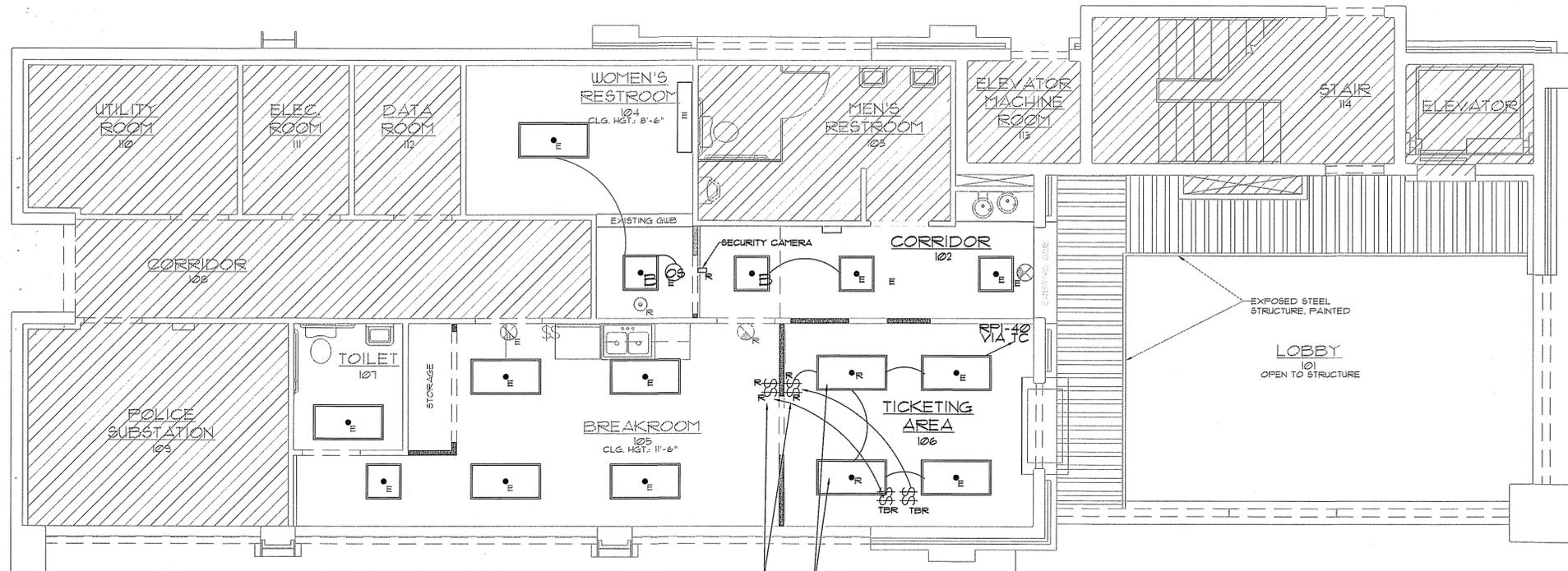


- 3 EXISTING / NEW LEGEND
- E-01 NT6
- N NEW COMPONENT
- TBR EXISTING COMPONENT TO BE RELOCATED
- R EXISTING COMPONENT RELOCATE AND RECONNECT

1 SECOND FLOOR ELECTRICAL LIGHTING PLAN
SCALE 1/4" = 1'-0"

REFER TO ARCHITECTURAL PLANS FOR FULL REFLECTIVE CEILING PLAN TYPICAL ALL ROOMS

SWITCH TO PROVIDE MANUAL OFF OVERRIDE FOR CEILING SENSOR TYPICAL OFFICE 1, OFFICE 2, OFFICE 3



4 SCOPE NOTE

- THE SCOPE THIS PLAN IS TO ALTER THE EXISTING LIGHTING IN COORDINATION WITH THE NEW FLOOR PLAN. RELOCATE AND RECONNECT EXISTING COMPONENTS AS SHOWN.
- PROVIDE NEW COMPONENTS AND CONNECT AS SHOWN. EXISTING COMPONENTS SHOWN AS REFERENCE FROM RECORD DRAWINGS PROVIDED, NOTIFY ENGINEER OF DISCREPANCIES.

4 LEGEND

E-01 NT6

SYMBOL	TYPE
\$	SWITCH
\$3	3-WAY SWITCH
CS	CEILING SENSOR WATT STOPPER DT-355 OR EQUAL
FA	FIRE ALARM COMPONENT

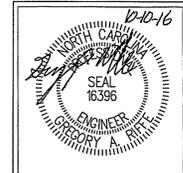
2 FIRST FLOOR ELECTRICAL LIGHTING PLAN
SCALE 1/4" = 1'-0"

RELOCATE EXISTING SWITCHING TO NEW WALL, RECONNECT TO EXISTING ROOM CIRCUITS

RELOCATE EXISTING FIXTURE TO ALLOW FOR NEW WALL. CONNECT ONTO EXISTING TICKETING ROOM CIRCUITS

GAR Engineering
110 PARKWAY, SUITE 100, CONCORD, NC 28025
PHONE: (704) 771-4466, FAX: (704) 771-6469
NC REG. LICENSE NUMBER: E-151

Criss More ARCHITECT PA
222 CHURCH STREET NORTH, CONCORD, NC 28025
T: 704/782.8533 F: 704/782.0487



UPFIT FOR
RIDER TRANSIT CENTER
S. RIDGE AVENUE, CONCORD, NC

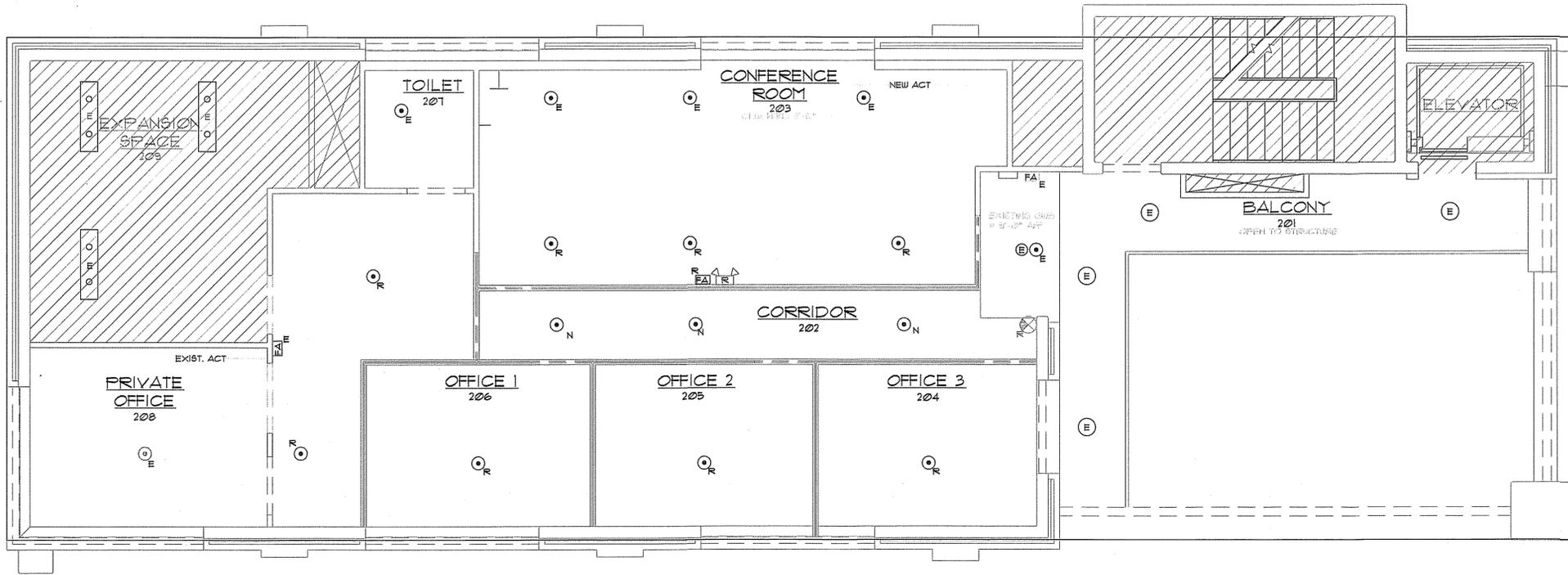
ELECTRICAL LIGHTING PLAN

PROJECT: RICH J. MEYER
DRAWN BY: GARIEFF

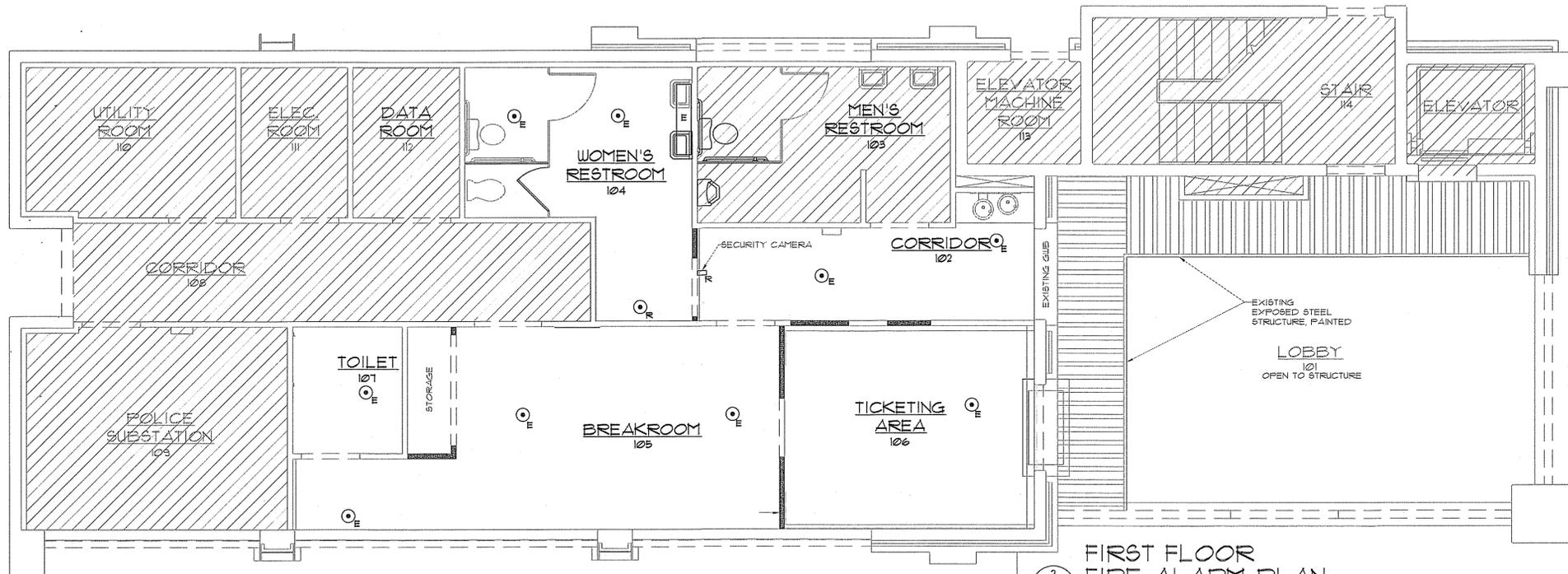
DOC. REL.	DATE	DESCRIPTION

FULL SUBMITTALS REQUIRED

LOAD SERVED	CONN LOAD KVA			CIRCUIT BREAKER	CKT NO.	LOCATION MAIN PANEL MOUNTING	ELEC ROOM MLO SURFACE NEMA 1
	A	B	C				
FA CIRC	2			20	2		
REC 204				20	4		
VENDING 105				20	6		
VENDING 205				20	8		
REC 106	1.5			20	10		
ELEC REC				20	12		
SEC DR CNTRL				20	14		
SEC CANT				20	16		
FLOOR BOX 203				20	18		
REC 203 205 206				20	20		
REC 202				20	22		
REC 202				20	24		
ROOF REC				20	26		
SIGN				20	28		
CANOPY LGHT				20	30		
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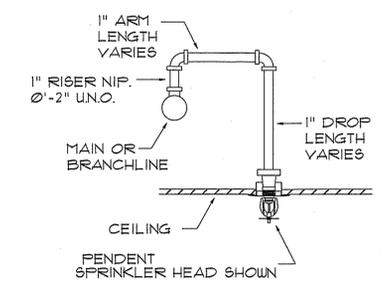


1 SECOND FLOOR
FIRE PROTECTION PLAN
SCALE 1/4" = 1'-0"



2 FIRST FLOOR
FIRE ALARM PLAN
SCALE 1/4" = 1'-0"

4 PENDENT DETAILS
FP-01 NOT TO SCALE



3 HEAD LEGEND
FP-01 NTS

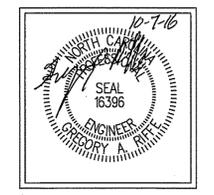
SYMBOL	STYLE	TEMPERATURE	ORIFICE	K-FACTOR	FINISH	MAKE	MODEL	TOTAL
⊙	PENDENT	155	1/2	5.6	BRASS	VICTAULIC	V2108	VERIFY

5 FIRE PROTECTION NOTES
FP-01 NTS

- SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH 2013 NFPA 13 AND ALL STATE AND LOCAL CODES.
- LIGHT HAZARD AREAS SHALL BE 1 GPM OVER MOST HYDRAULICALLY REMOTE 1500 SQ FT WITH HOSE STREAMS
- TOTAL SYSTEM AREA: TOTAL AREA APPROX 5200 SQ FT. ENTIRE BUILDING IS TO BE SPRINKLED.
- PIPING 1/2" AND LARGER SHALL BE BLACK STEEL SCHEDULE 40 JOINED WITH GROOVED CAST IRON FITTINGS.
- PIPING 1/4" AND SMALLER SHALL BE BLACK STEEL SCHEDULE 40 JOINED WITH CAST IRON FITTINGS.
- HANGERS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13.
- ALL WORK SHALL BE PERFORMED BY A CONTRACTOR LICENSED IN THE STATE OF NORTH CAROLINA.
- ALL SUBMITTALS SHALL BE PROVIDED TO THE ENGINEER FOR APPROVAL
- UPON COMPLETION ALL "AS-BUILT" DRAWINGS AND MATERIAL AND TEST CERTIFICATES SHALL BE PROVIDED TO THE ENGINEER FOR PROJECT COMPLETION.
- DRAWINGS ARE SCHEMATIC IN NATURE. SPRINKLER CONTRACTOR SHALL PROVIDE SYSTEM DESIGN FOR FULLY OPERATIVE SYSTEM INCLUDING AND COMPONENTS AND TRIM, AND IN COMPLIANCE WITH ALL APPLICABLE CODES

FULL SUBMITTALS REQUIRED

GAR Engineering
ARCHITECT PA
222 CHURCH STREET NORTH, CONCORD, NC 28025
T: 704.788.8333 F: 704.782.0487



PROJECT: RIDER TRANSIT CENTER
9. RIDGE AVENUE, CONCORD, NC

DESIGN BY: R. J. L. DREYER
CHECKED BY: G. S. RIFE

DATE: 10/4/2016

SHEET NUMBER: FP-01

DOC. REL.	DATE	DESCRIPTION